



## **M. Site Plans**

# Site Plans

Issued for: **Site Plan Review**

Date Issued: December 02, 2014

Latest Issue: March 3, 2015

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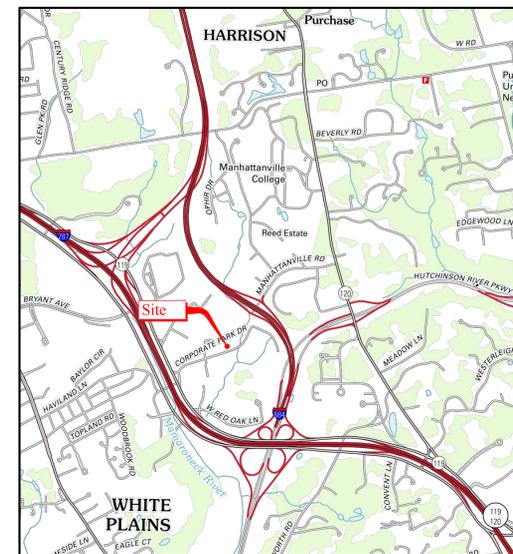
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C-20	Vehicle Maneuvering Plan	3/3/2015
C-21	Tree Removal Plan	3/3/2015

## Reference Drawings

Number	Drawing Title	Latest Issue
EX-1	Existing Conditions Plan	3/3/2015
A01	Terrace Level Floor Plan	3/3/2015
A02	First Level Floor Plan	3/3/2015
A03	Second Level Floor Plan	3/3/2015
A04	Third Level Floor Plan	3/3/2015
A05	Fourth Level Floor Plan	3/3/2015
A06	Fifth Level Floor Plan	3/3/2015

# The Residences at Corporate Park Drive

## 103-105 Corporate Park Drive Harrison, Westchester County, NY



Site Location Map  
Glenville Quadrangle, Connecticut - New York, 7.5-Minute Series

## Property Owners

Owner/Applicant:  
**103/105 Corporate Park Drive, SPE, LLC**  
 c/o Normandy Real Estate Partners; 53 Maple Ave.  
 Morristown, NJ 07960  
 Project Contact: Justin Krebs  
 Phone: 617-443-0710

**Section Number: 62**  
**Block: 621**  
**Lot: 3**



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& Landscape Architecture, P.C.  
 Planning  
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 Land Development  
 Environmental Services  
 50 Main Street - Suite 360  
 White Plains, NY 10606  
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Michael W. Junghans  
 N.Y. Professional Engineer  
 NY Lic. No. 072072





Saveed Monday, March 02, 2015 5:13:29 PM CORPENO Plotted Monday, March 02, 2015 5:43:22 PM Corfino, Christopher

### Zoning Summary Chart

Zoning District(S):	SB-O Multi-Family Residential <sup>1</sup>			
Zoning Regulation Requirements	Existing	Required	Provided	Compliance
MINIMUM LOT AREA (*)	10.35 Acres	5 AC (*)	10.35 Acres	Yes
MINIMUM LOT WIDTH	705.0 Feet	300 Feet	705.0 Feet	Yes
MINIMUM LOT FRONTAGE	691.1 Feet	350 Feet	691.1 Feet	Yes
MAXIMUM NR. OF DWELLING UNITS PER SITE	N/A	450 Units	421 Units	Yes
MINIMUM HABITABLE FLOOR AREA FOR STUDIO / ONE BEDROOM	N/A	475 SF / 600 SF	533 SF / 760 SF	Yes
MAXIMUM NR. OF BEDROOMS (OR POTENTIAL) PER DWELLING UNIT	N/A	3	2	Yes
MAXIMUM FIRST FLOOR RESTAURANT GROSS FLOOR AREA	N/A	25,000 SF	+/- 5,400 SF	Yes
MINIMUM FRONT YARD SETBACK	84 Feet	50/25 Feet (****)	110/34 Feet	Yes
MINIMUM SIDE YARD SETBACK (ADJOINING BUSINESS DISTRICT)	116 Feet	40 Feet	40 Feet	Yes
MINIMUM REAR YARD SETBACK	108 Feet	45 Feet	51 Feet	Yes
MAXIMUM BUILDING HEIGHT	3 Stories	6 Stories	6 Stories	Yes
MAXIMUM BUILDING COVERAGE (**)	11.3 %	45%	38.0 %	Yes
MINIMUM RECREATION SPACE (***)	N/A	2,500 SF	+/- 33,000 SF (**)	Yes

- 1 REQUIREMENTS SHOWN ARE AS PER PROPOSED AMENDMENTS FOR SB-O DISTRICT.
- \* MINIMUM 5 AC OR 350 SF PER DWELLING UNIT.  
FOR 421 PROPOSED UNITS MINIMUM LOT AREA = 350 SF / UNIT x 421 UNITS = 147,350 SF = 3.38 AC
  - \*\* MAXIMUM BUILDING FOOTPRINT = 171,366 SF WHICH EXCLUDES THE COURT YARD / POOL TERRACE AREAS AT THE TYPICAL LEVEL 2.
  - \*\*\* MAY INCLUDE INTERIOR SPACES SUCH AS A COMMUNITY OR RECREATION ROOM.
  - \*\*\*\* FRONT YARD CAN BE REDUCED TO 25 FEET FOR AN AREA NOT TO EXCEED 25% OF THE TOTAL WIDTH OF THAT PORTION OF THE BUILDING LOCATED PARALLEL TO THE REQUIRED FRONT YARD.  
TOTAL WIDTH OF THE PROPOSED BUILDING PARALLEL WITH THE FRONT LINE IS +/- 550 FEET  
FRONT YARD BUILDING SETBACK IS LESS THAN 50 FEET (+/- 35 FEET) FOR APPROXIMATELY 80 FEET OF BUILDING (+/- 15% OF TOTAL BUILDING WIDTH)

### Building Units Summary (\*)

Level	Bedrooms			
	Studio	One	Two	Total
TERRACE	2	21	15	38
1	4	50	42	96
2	5	52	46	103
3	5	52	46	103
4	3	21	20	44
5	3	16	18	37
TOTAL	22	212	187	421

\* SEE ARCHITECTURAL PLANS.

### Garage Parking Summary (\*)

TERRACE	45
1	162
2	162
3	166
4	166
5	51
TOTAL	752

\* SEE ARCHITECTURAL PLANS.

### Parking Summary Chart

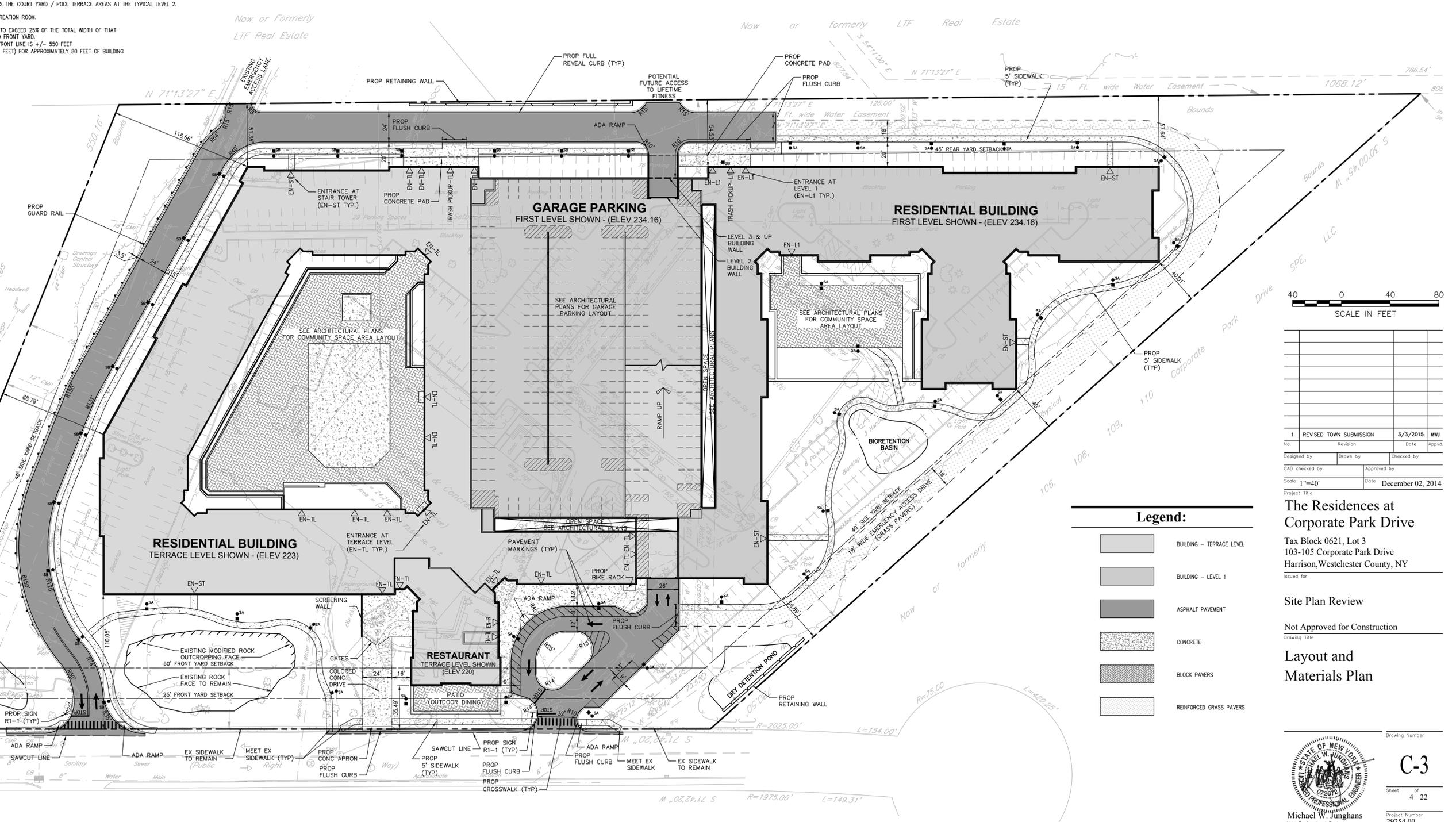
Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9' x 19'	9' x 19' ***	297	590
COMPACT SPACES ***	7.5' x 15'	8.5' x 16'	250	145
STANDARD ACCESSIBLE SPACES *	8' x 18' (5' AISLE)	8' x 19' (5' AISLE)	13	14
VAN ACCESSIBLE SPACES *	11' x 18' (5' AISLE)	11' x 19' (5' AISLE)	3	3
TOTAL SPACES **			563	752
LOADING BAYS ****			N/R	N/R

- \* ADA/STATE/LOCAL REQUIREMENTS - BASED ON TOTAL SPACES PROVIDED  
2% OF 752 = 16 TOTAL ACCESSIBLE SPACES (3 VAN ACCESSIBLE SPACES)
- \*\* MINIMUM OFF-STREET PARKING SPACES SHALL BE 1.25 PER DWELLING UNIT (PER ORDINANCE)  
FOR 421 PROPOSED UNITS MINIMUM NR. OF PARKING SPACES = 1.25 PARKING/ UNIT x 421 UNITS = 527 PARKING SPACES
- \*\*\* MINIMUM PARKING SPACES FOR RESTAURANT 1 PARKING SPACE PER 150 SF OR 4 PERMANENT SEATS  
(WITH PLANNING BOARD APPROVAL MAY BE REDUCED TO 1 PARKING SPACE PER 300 SF OR 6 PERMANENT SEATS)  
FOR 5,400 SF OF RESTAURANT AREA MINIMUM NR. OF PARKING SPACES = 1 PARKING/ 150 SF x 5,400 SF = 36 PARKING SPACES
- \*\*\*\* MINIMUM NR. OF PARKING SPACES FOR THE REDEVELOPMENT = 563 PARKING SPACES
- \*\*\*\*\* MAXIMUM NUMBER OF COMPACT SPACES ALLOWED IS 1/3 (33.0%) OF THE PROVIDED PARKING SPACES.
- \*\*\*\*\* A SEPARATE LOADING BAY REQUIRED FOR RETAIL, RETAIL SERVICES OR RESTAURANT EXCEEDING 20,000 SF.

### Sign Summary

M.U.T.C.D. Number	Specification	Desc.
R1-1	30" x 30"	STOP
R7-8	12" x 18"	RESERVED PARKING
R7-1	12" x 18"	NO PARKING ANY TIME

- \* ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- \*\* FOR WALL MOUNTED SIGNS THE BOTTOM OF THE LOWEST SIGN TO BE MOUNTED 84" FROM THE PARKING SURFACE.



### Legend:

- BUILDING - TERRACE LEVEL
- BUILDING - LEVEL 1
- ASPHALT PAVEMENT
- CONCRETE
- BLOCK PAVERS
- REINFORCED GRASS PAVERS

### The Residences at Corporate Park Drive

Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

### Site Plan Review

Not Approved for Construction

### Layout and Materials Plan

Professional Engineer Seal for Michael W. Jungghans, N.Y. Professional Engineer, NY Lic. No. 072072.

Project Number: 29254.00

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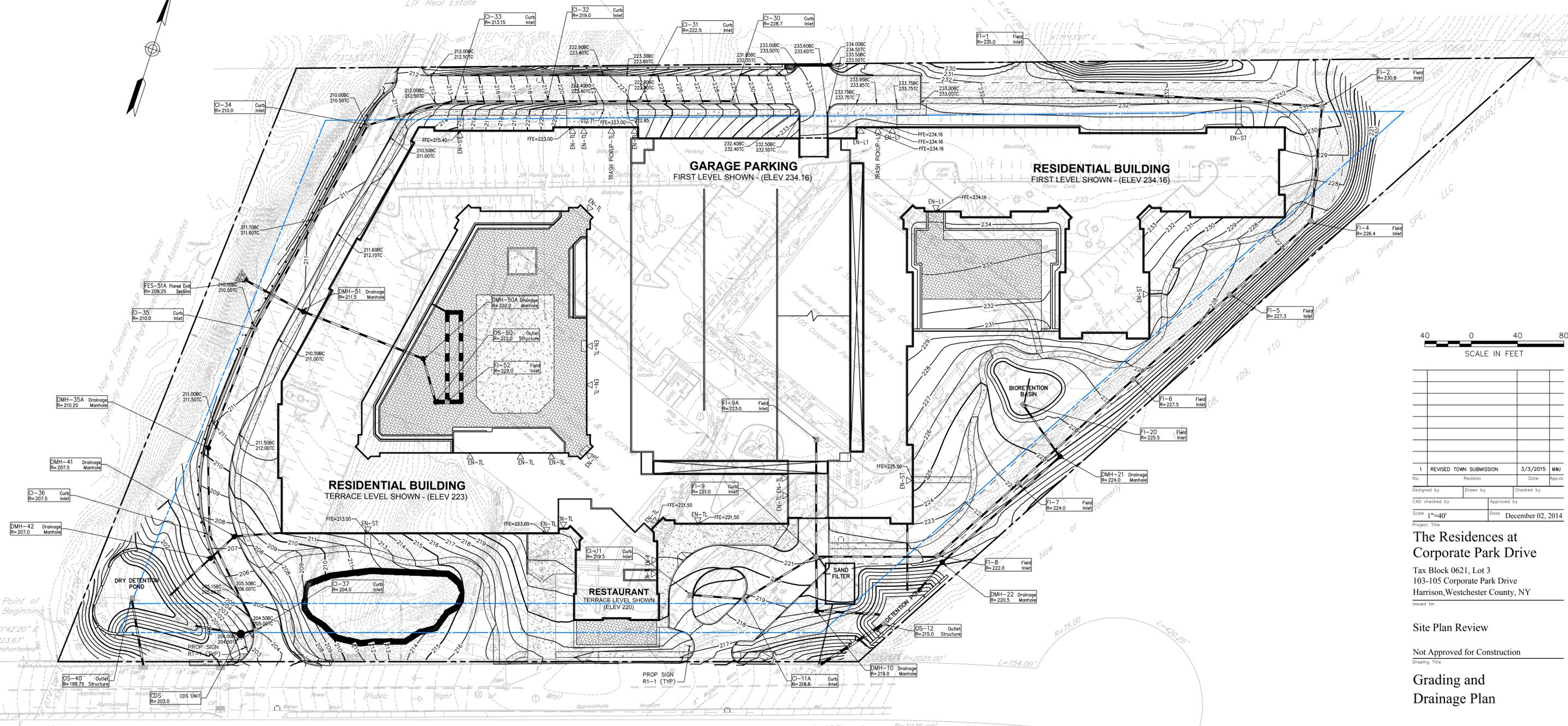
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Now or Formerly LTF Real Estate



No.	Revision	Date	Appvd.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

Designed by: \_\_\_\_\_ Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 CAD checked by: \_\_\_\_\_ Approved by: \_\_\_\_\_  
 Scale: 1"=40' Date: December 02, 2014  
 Project Title: \_\_\_\_\_

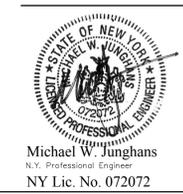
### The Residences at Corporate Park Drive

Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

### Site Plan Review

Not Approved for Construction

### Grading and Drainage Plan



Drawing Number: \_\_\_\_\_  
**C-4**  
 Sheet of 5 22  
 Project Number: 29254.00  
 NY Lic. No. 072072

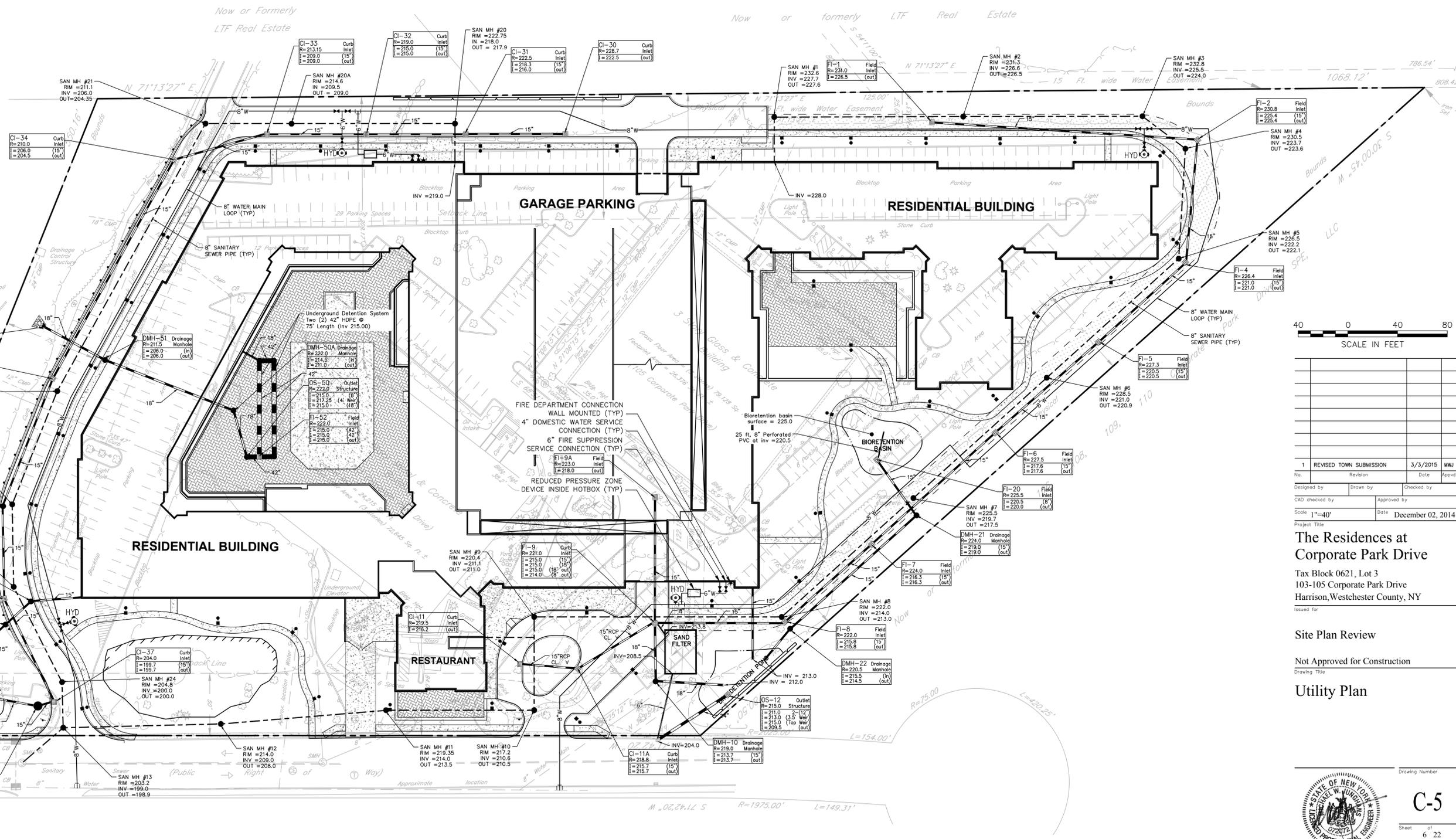
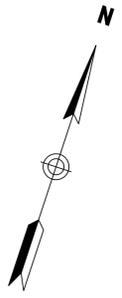
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### GENERAL UTILITY NOTES:

- 1) GAS, TELEPHONE, CABLE, AND ELECTRIC CONNECTIONS TO BE COORDINATED WITH PROVIDING UTILITY COMPANIES FOLLOWING THE DEVELOPMENT OF THE FINAL BUILDING PLANS BY OWNER'S MEP/ARCHITECT.
- 2) WATER MAIN SIZING DETERMINED BY OWNER'S MEP ENGINEER BASED ON AVAILABLE FLOW, FIRE PROTECTION AND DOMESTIC NEEDS OF THE BUILDINGS, AND SITE HYDRANTS. PROPOSED WATER SYSTEM DESIGN MUST MEET THE WATER UTILITY COMPANY DESIGN REQUIREMENTS.
- 3) SANITARY MANHOLE LOCATIONS ARE BASED ON ANTICIPATED SERVICE LOCATIONS. OWNER'S MEP ENGINEER TO PROVIDE FINAL SERVICE LOCATIONS AT BUILDING AND CONFIRM PIPE SIZES AND FLOW VOLUMES WITH SITE ENGINEER.
- 4) LENGTHS OF PIPE SHOWN ON THIS PLAN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE WITH THE EXCEPTION OF SANITARY LINES. CONTRACTOR TO VERIFY REQUIRED PIPE LENGTHS BEFORE CONSTRUCTION.
- 5) SANITARY SEWER CLEANOUTS SHOULD BE ADDED NEAR THE CURB LINE OF ALL BUILDINGS.
- 6) AN INTERIOR DROP SEWER MANHOLE SHALL BE PROVIDED WHERE DROPS FROM THE INVERT IN TO THE INVERT OUT OF THE SANITARY SEWER PIPE IS 2 FEET OR GREATER.
- 7) ALL SANITARY SEWER LINES TO BE INSTALLED WITH AT LEAST 4 FEET OF COVER. PIPES TO BE INSULATED WHERE LESS THAN 4 FEET OF COVER IS PROVIDED. WHEN THE COVER PROVIDED IS LESS THAN 4 FEET OR EXCEEDS 20 FEET INSTALL CLASS 52 DIP PIPES.
- 8) ALL SEWER LINES TO BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM POTABLE WATER LINES AND/OR AT LEAST 18" BELOW POTABLE WATER LINES AND IN SEPARATE TRENCHES, INCLUDING CROSSINGS. IF AT CROSSING THE 18" VERTICAL CLEARANCE CANNOT BE OBTAINED SANITARY SEWER SHALL BE CONSTRUCTED OF CLASS 53 DUCTILE IRON PIPE CONFORMING WITH ANSI 21.51 AND LINED IN ACCORD WITH ANSI 21.4. JOINTS SHALL BE SEALED WITH GASKETS IN CONFORMANCE WITH ANSI A21.11. THE SEWER ALONE SHALL BE PRESSURE TESTED AT 200 PSI PER AWWA C600. IN ADDITION, THE LOWER OF THE TWO PIPES SHALL BE ENCASED IN A CONCRETE ENVELOPE FOR A MIN. OF 10 FEET EACH WAY FROM THE CENTERLINE OF THE CROSSING.
- 9) ALL 8" SANITARY SEWER LATERALS TO THE BUILDING SHALL BE AT A MIN. 0.40% SLOPE.



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 SCALE IN FEET

No.	Revision	Date	Appvd.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

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**The Residences at Corporate Park Drive**  
 Tax Block 0621, Lot 3  
 103-105 Corporate Park Drive  
 Harrison, Westchester County, NY

Site Plan Review  
 Not Approved for Construction  
 Drawing Title: **Utility Plan**

Drawing Number: \_\_\_\_\_  
**C-5**  
 Sheet of 6 22  
 Project Number: 29254.00  
 Michael W. Jungmans  
 N.Y. Professional Engineer  
 NY Lic. No. 072072  
 29254.00\_PLOT.DWG





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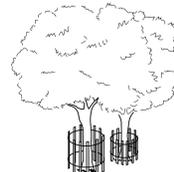
Erosion Control Notes

- 1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS. 2. A PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, TOWN/VILLAGE OF HARRISON, AT THE MEETING, THE INDIVIDUAL RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE DESIGNATED. EROSION CONTROL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE REGULATIONS SET FORTH BY THE NYSDEC (REFER TO NYSDEC SPDES GENERAL PERMIT GP-0-10-001 PART IV.C.). A LOG OF ALL INSPECTIONS AND A COPY OF THE CURRENT DESIGN PLANS SHALL BE KEPT ON SITE AND BE AVAILABLE FOR VIEWING AT ALL TIMES. 3. THE EROSION AND SEDIMENT CONTROLS SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND/OR THE DESIGNATED TOWN/VILLAGE REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS DURING CONSTRUCTION. 4. ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS. THE SITE SHOULD BE KEPT CLEAN OF DEBRIS, LITTER AND BUILDING MATERIALS IN ORDER THAT NONE OF THE ABOVE ENTERS WETLANDS OR WATERCOURSES. 5. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT. 6. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. 7. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. 8. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION. 9. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, AUG. 2005). 10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH "WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES" AS WELL AS THE NYSDEC REQUIREMENTS. 11. THE TOWN/VILLAGE OF HARRISON, NYSDEC OR THE SITE ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THESE MEASURES. 12. NO DISTURBED AREA SHALL BE LEFT EXPOSED FOR MORE THAN 14 DAYS AFTER WORK STOPPAGE. THESE AREAS MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. AREAS SUBJECT TO CONSTRUCTION TRAFFIC ARE TREATED USING WATER BARS AND BY DIRECTING THE SURFACE WATER FLOW TO TREATMENT AREAS. THESE AREAS ARE NOT SUBJECT TO THE TEMPORARY SEEDING REQUIREMENT DUE TO THE OTHER EROSION AND SEDIMENT CONTROL TREATMENTS AS DESCRIBED HEREIN. 13. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN 10 DAYS OF FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH SUITABLE MULCH AS PER THE SPECIFICATIONS. 14. CUT OR FILL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. 15. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES. 16. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.

- 17. CONSTRUCTION FENCING SHALL BE USED TO PROTECT EXISTING TREES TO REMAIN, WETLANDS AND OTHER SENSITIVE AREAS. REFER TO TREE PROTECTION NOTES ON LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. 18. IF FOR ANY REASON THE CONSTRUCTION IS HALTED FOR EXTENDED PERIODS, THE CONTRACTOR SHALL STABILIZE THE SELECT MATERIAL BY HYDRO-SEED OR OTHER MEANS, TO THE SATISFACTION OF THE ENGINEER FOR ALL AREAS DEVOID OF VEGETATION. 19. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH AN APPROVED CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED AREAS OR DISCHARGED INTO INLETS OR OTHER DRAINAGE SYSTEMS. 20. DUST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER TRUCK DURING GRADING OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL GRADES ARE STABILIZED. 21. THE TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, AND AFTER EACH RAINFALL IN EXCESS OF 1/2 INCH TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION. 22. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY, AND IN NO CASE, MORE THAN TWENTY FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES. 23. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROLS AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION. 24. THE CONTRACTOR SHALL MAKE AVAILABLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO PERFORM EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN FOUR (4) HOURS OF ANY IMPENDING EMERGENCY SITUATION. 25. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES. 26. PHASES OF CONSTRUCTION INCLUDING CLEARING AND CRUBBING, PRELIMINARY SITE PREPARATION, UTILITY INSTALLATION, PRELIMINARY GRADING, ETC., REQUIRE TREE PROTECTION MEASURES TO BE IN PLACE. 27. NO CONSTRUCTION ACTIVITIES OF ANY KIND SHOULD OCCUR WITHIN THE LIMITS OF THE PROTECTED AREAS INCLUDING, BUT NOT LIMITED TO GRADING, EXCAVATION, STOCKPILING OF MATERIALS, STORAGE OF CONSTRUCTION EQUIPMENT, VEHICLE PARKING, MOVEMENT OF WORKERS OR MACHINERY, OR DUMPING OF CONSTRUCTION DEBRIS. 28. CONTRACTOR SHALL REFER TO THE EROSION DETAILS FOR THE PROTECTION MEASURES PROPOSED. 29. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. 30. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS DESCRIBED IN THE PLANS. 31. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS. 32. THE CONTRACTOR IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT. 33. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES. 34. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE SURROUNDING DRAINAGE AREA.



CORRECT FENCING FOR TREE PROTECTION



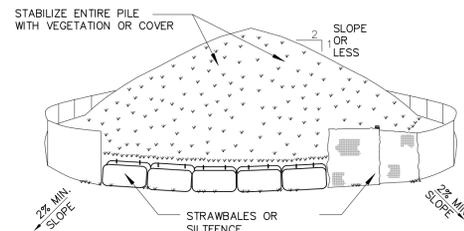
INCORRECT FENCING FOR TREE PROTECTION

Tree Protection-Incorrect And Correct Fencing Placement

N.T.S.

Notes:

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE. 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1. 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED. 4. SEE SILT FENCE DETAIL ON THIS SHEET



Soil Stockpiling

N.T.S.

CONSTRUCTION SPECIFICATIONS. 1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY). 3. THICKNESS - NOT LESS THAN SIX (6) INCHES. 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE. 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE. STABILIZED CONSTRUCTION ENTRANCE.



Diagram of a silt fence showing perspective and section views. Construction specifications include: 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT. 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE. SILT FENCE.

Diagram of a straw bale dike showing bedding and anchoring details. Construction specifications include: 1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES. 2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL. 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. 4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE. STRAW BALE DIKE.

Diagram of an excavated drop inlet protection showing a cross-section with gravel and weep holes. Construction specifications include: 1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION. 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN. 3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL. 4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE. EXCAVATED DROP INLET PROTECTION.

Diagram of a curb drop inlet protection showing a cross-section with stone and filter cloth. Construction specifications include: 1. FILTER FABRIC SHALL HAVE AN EDS OF 40-85. 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER. 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. 4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART. 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS. U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE. CURB DROP INLET PROTECTION.

Table with 4 columns: No., Revision, Date, Appr. It contains one row: 1 REVISED TOWN SUBMISSION 3/3/2015 MWJ.

Table with 4 columns: No., Revision, Date, Appr. It contains one row: 1 REVISED TOWN SUBMISSION 3/3/2015 MWJ.

The Residences at Corporate Park Drive. Tax Block 0621, Lot 3. 103-105 Corporate Park Drive. Harrison, Westchester County, NY. Issued for:

Site Plan Review

Not Approved for Construction. Drawing Title

Erosion & Sediment Control Notes and Details

Professional Engineer seal for Michael W. Unglans, N.Y. Professional Engineer, NY Lic. No. 072072. Drawing Number: C-7. Sheet 8 of 22. Project Number: 29254.00.

Sheet Monday, March 02, 2015 4:29:59 PM CORPENO Plotted Monday, March 02, 2015 5:46:32 PM Corfino, Christopher

**Landscape Notes**

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "TOPSOIL & SEED" SHALL RECEIVE MINIMUM 6" OF TOPSOIL AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE TOPSOIL AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

**Irrigation Notes**

- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS/TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- (IF INSIDE THE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- (IF OUTSIDE THE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS. LOCATE THIS EQUIPMENT IN A LOCKABLE "HOT BOX".
- (IF INSIDE THE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- (IF OUTSIDE THE BUILDING) IRRIGATION CONTROL PANEL SHALL BE LOCATED IN A LOCKABLE CABINET DESIGNED TO HOUSE THE CONTROL PANEL.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

**Tree Protection**

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRUPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTORS' EXPENSE.

**Plant Maintenance Notes**

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AB	13	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" - 3" CAL.
AG	1	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	8 - 10' HT.
CO	29	Cercis occidentalis	Western Redbud	8 - 10' HT.
CF	13	Cornus florida 'White'	White Flowering Dogwood	8 - 10' HT.
GT	20	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	2 1/2" - 3" CAL.
PG	13	Picea glauca	White Spruce	10 - 12' HT.
PC	4	Prunus subhirtella 'Snow Fountains'	Weeping Cherry	15 - 30' HT.
QP	18	Quercus palustris	Pin Oak	2 1/2" - 3" CAL.
TN	19	Thuja occidentalis 'Nigra'	Dark American Arborvitae	6 - 7' HT.

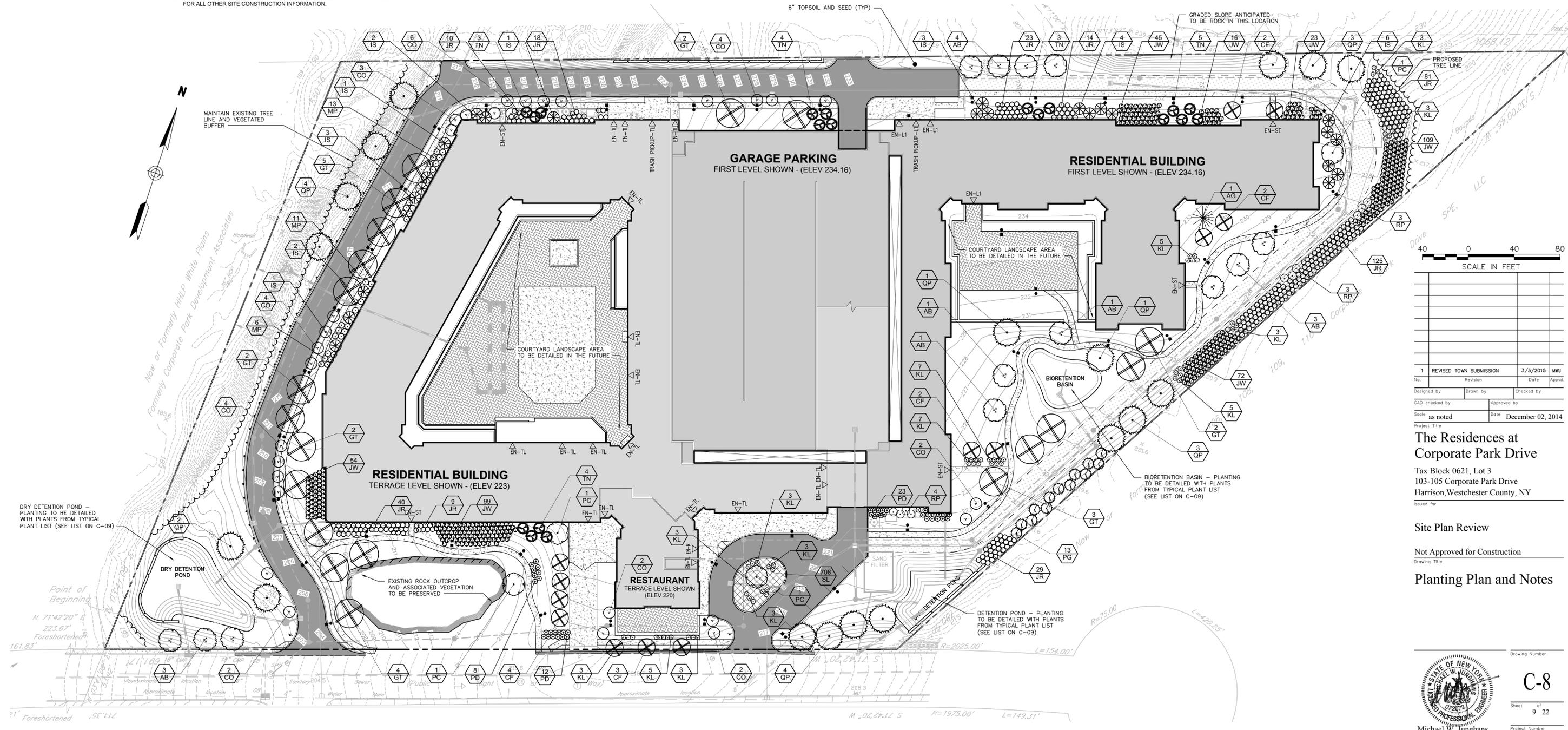
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
IS	23	Ilex glabra 'Shamrock'	Inkberry	2 - 2 1/2' HT.
JR	349	Juniperus communis 'Repanda'	Common Juniper	18 - 24" SPD
JW	418	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	18 - 24" SPD
KL	56	Kalmia latifolia	Mountain Laurel	18 - 24" SPD
MP	30	Myrica pensylvanica	Northern Bayberry	2 1/2" - 3" HT.
PD	43	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	18 - 24" SPD
RP	10	Rhododendron periclymenoides	Pink Azalea	18 - 24" SPD

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SL	708	Schizachyrium scoparium	Little Bluestem Grass	1 gal	18" o.c.



**Engineering, Surveying & Landscape Architecture, P.C.**  
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 50 Main Street - Suite 360  
 White Plains, NY 10606  
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No.	Revision	Date	Appvd.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

Designed by: \_\_\_\_\_ Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 CAD checked by: \_\_\_\_\_ Approved by: \_\_\_\_\_  
 Scale: as noted Date: December 02, 2014  
 Project Title: \_\_\_\_\_

**The Residences at Corporate Park Drive**  
 Tax Block 0621, Lot 3  
 103-105 Corporate Park Drive  
 Harrison, Westchester County, NY

Site Plan Review  
 Not Approved for Construction  
 Drawing Title: **Planting Plan and Notes**

Drawing Number: \_\_\_\_\_  
**C-8**  
 Sheet of 9 22  
 Project Number: 29254.00  
 Michael W. Jungmans  
 N.Y. Professional Engineer  
 NY Lic. No. 072072



Saved Monday, March 02, 2015 10:41:54 AM C:\PROFNO Plotted Monday, March 02, 2015 5:48:27 PM Orofino, Christopher

### Luminaire Schedule & Design Calculations by Philips



<b>Project #:</b> 422-11182	<b>Revision #:</b> -	<b>Date:</b> 11/20/14	<b>Project:</b> The Residences @ Corporate Park Harrison, NY
<b>Created By:</b> R. Johnstone	<b>Size:</b> ARCH D	<b>Page #:</b> Page 1 of 1	<b>Agent:</b> Mark Arnold - Philips Lighting <b>Specifier:</b> Christopher Orofino - VHB Engineering

#### Luminaire Schedule

Project: The Residences @ Corporate Park - Harrison, NY

Symbol	Qty	Label	Description	Arrangement	Lum. Watts	Lum. Lumens	LLF	BUG Rating
SA	27	SA	Gardco EH14L-1-3-70LA-NW @ 15'	SINGLE	70	7467	0.850	B2-U0-G2
SB	16	SB	EGardco H19L-1-3-110LA-NW @ 20'	SINGLE	107.9	11053	0.850	B3-U0-G3

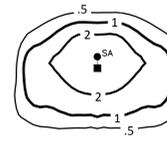
#### Numeric Summary

Project: The Residences @ Corporate Park - Harrison, NY

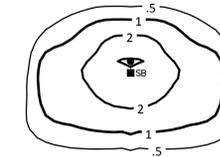
Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpCr	PtSpTb	Units
All Points	1.04	4.4	0.0	N.A.	N.A.	2691	10	10	Fc



**Form 10 Light Fixture and Pole**



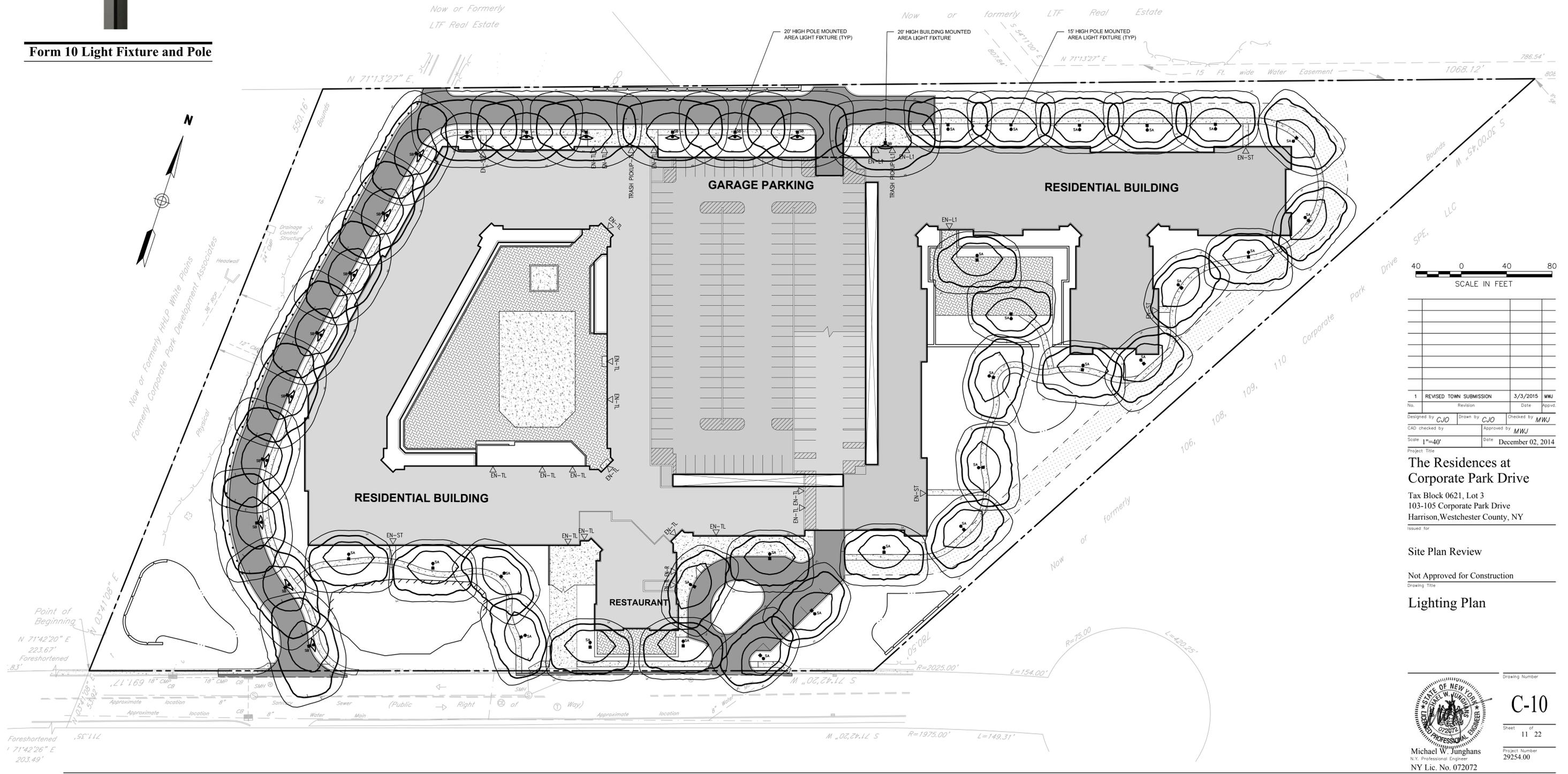
**Light Distribution Pattern for SA**



**Light Distribution Pattern for SB**



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1	REVISED TOWN SUBMISSION	3/3/2015	MWJ
No.	Revision	Date	Appvd.
Designed by	CJO	Drawn by	CJO
Checked by	MWJ	Approved by	MWJ
Scale	1"=40'	Date	December 02, 2014

**The Residences at  
Corporate Park Drive**  
 Tax Block 0621, Lot 3  
 103-105 Corporate Park Drive  
 Harrison, Westchester County, NY  
 Issued for

Site Plan Review  
 Not Approved for Construction  
 Drawing Title  
**Lighting Plan**

Drawing Number  
**C-10**  
 Sheet of  
11 22  
 Project Number  
29254.00  
 Michael W. Jungmans  
 N.Y. Professional Engineer  
 NY Lic. No. 072072

# Details for (SA) Gardco EH14L-1-3-70LA-NW @ 15' provided by Philips



Engineering, Surveying & Landscape Architecture, P.C.

Planning Transportation Land Development Environmental Services

50 Main Street - Suite 360 White Plains, NY 10606 914.467.6600 • FAX 914.761.3759

Job: 29254.00 Type: Normandy Notes: 15 foot high pole mounted fixture



Page 1 of 3

## Form 10 Square LED EH / H / Arm Mount

The Philips Gardco arm mounted Square Form 10 LED products are cutoff luminaires featuring LED arrays. Square Form 10 LED luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer the potential for energy savings up to 50% when compared to HID systems. The EH units are manufactured from mitered extruded aluminum and finished in an Architectural Class 1 anodizing. The H style luminaires are die formed aluminum with a thermoseal polyester finish. Form 10 Square LED luminaires provide full cutoff performance and feature a flat glass lens.

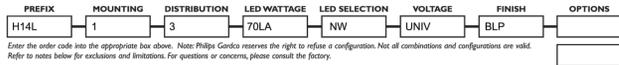


Table with columns: PREFIX, MOUNTING, DISTRIBUTION, LED WATTAGE, LED SELECTION, VOLTAGE, FINISH, OPTIONS. Includes sub-tables for Available in 70LA and 85LA LED Wattages Only, and Available in 110LA and 160LA LED Wattages Only.

Table: LED WATTAGE AND LUMEN VALUES. Columns: Ordering Code, Average System Watts, LED Current (mA), LED Selection, Luminaire Initial Absolute Lumens, Basis of Lumen Data.

Table: LED SELECTION. Columns: Code, Color, Temperature, CRI. Includes VOLTAGE section with Univ, HVU, WW.

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Page 2 of 3

## Form 10 Square LED EH / H / Arm Mount

Table: FINISH and OPTIONS. Lists various finishes like Bronze Anodized, Black Anodized, Natural Anodized, and options like Fusing In Head, Photocontrol and Racepace, etc.

### DIMENSIONS AND EPA

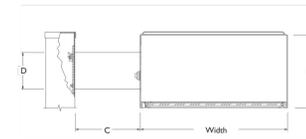


Table: Dimensions and EPA. Columns: Size, Width, B, C, D. Rows: EH14, EH19, EH19-DIM, H19.

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Page 3 of 3

## Form 10 Square LED EH / H / Arm Mount

Table: LUMINAIRE CONFIGURATION INFORMATION. Includes CONSTANT WATTAGE CONFIGURATIONS, DIMMING, SPECIFICATIONS, ELECTRICAL SYSTEMS, HOUSING, LENS, ARM, and THERMAL MANAGEMENT.

Table: PREDICTED LUMEN DEPRECIATION DATA. Columns: Ambient Temperature, Driver mA, L70 Hours.

Table: FULL CUTOFF PERFORMANCE and CUTOFF PERFORMANCE. Describes performance metrics at various angles.

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Job: Type: Notes:

## Poles

Page 1 of 4 4" Straight Square Aluminum - Cast Base

The Philips Gardco SSA4 straight aluminum pole consists of a one-piece 4" square extruded aluminum lighting standard mounted to a cast aluminum base. The poles are finished with either Architectural Class 1 anodizing or electrostatically applied TGIC polyester powdercoat.

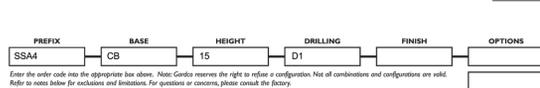


Table: Pole Specifications. Columns: PREFIX, BASE, HEIGHT, DRILLING. Includes Hinged Base availability.

Table: FINISH and OPTIONS. Lists finishes like BRP, BLP, WP, NP, BRA, BLA, NA, OC, SC and options like Single Receptacle, Vibration Dampener, etc.

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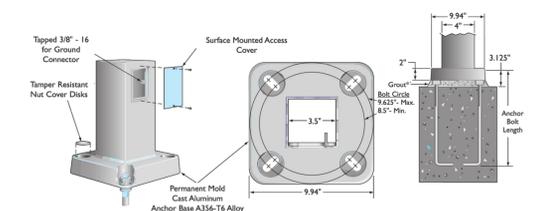


Page 2 of 4 4" Straight Square Aluminum - Cast Base

Table: POLE DATA. Columns: CATALOG NUMBER, POLE SIZE, MAXIMUM LUMINAIRE LOADING, ANCHOR BOLT DATA.

- Warnings: Additional wind loading, Pole supplied template must be used when setting anchor bolts.

### DIMENSIONS



NOTE: Factory supplied template must be used when setting anchor bolts. Pole supplied template must be used when setting anchor bolts.

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Page 3 of 4 4" Straight Square Aluminum - Cast Base

Specifications: Pole shaft, Anchor base, Pole top cap.

### GENERAL POLE INFORMATION

DESIGN: The poles are charted as designed to withstand dead loads and predicted dynamic loads developed by variable wind speeds with an additional 30% gust factor.

WARNING: This design information is intended as a general guideline only. The customer is solely responsible for proper selection of pole, luminaire, accessory and foundation under the given site conditions.

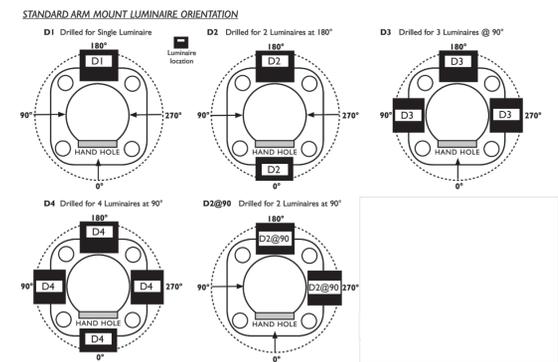
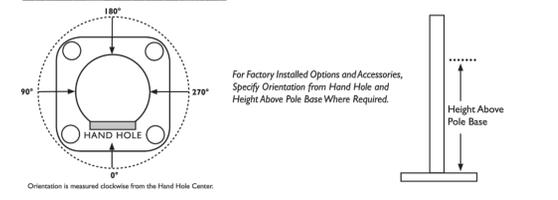
WARRANTY: Philips Gardco poles feature a 1 year limited warranty. See Warranty Information on www.siteighting.com for complete details and exclusions.

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Page 4 of 4 4" Straight Square Aluminum - Cast Base

Orientation Information: Factory installed options and accessories.



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Table: Revision history with columns for No., Revision, Date, Appvd.

Table: Project Title, CAD checked by, Scale, Date.

## The Residences at Corporate Park Drive

Tax Block 0621, Lot 3 103-105 Corporate Park Drive Harrison, Westchester County, NY

Issued for: Site Plan Review

Not Approved for Construction

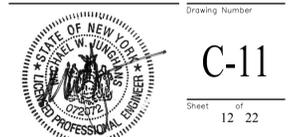
Drawing Title: Lighting Details 1

Drawing Number: C-11

Sheet 12 of 22

Project Number: 29254.00

Michael W. Unglans N.Y. Professional Engineer NY Lic. No. 072072



### Details for (SB) EGardco H19L-1-3-110LA-NW @ 20' provided by Philips



Engineering, Surveying & Landscape Architecture, P.C.

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Land Development  
Environmental Services

50 Main Street - Suite 360  
White Plains, NY 10606  
914.467.6600 • FAX 914.761.3759

Job: 29254.00  
Type: Normandy  
Notes: 20 foot high pole mounted fixture



## Form 10 Square LED

Page 1 of 3

EH / H / Arm Mount

The Philips Gardco arm mounted Square Form 10 LED products are cutoff luminaires featuring LED arrays. Square Form 10 LED luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer the potential for energy savings up to 50% when compared to HID systems. The EH units are manufactured from mitered extruded aluminum and finished in an Architectural Class 1 anodizing. The H style luminaires are die formed aluminum with a thermostat polyester finish. Form 10 Square LED luminaires provide full cutoff performance and feature a flat glass lens.

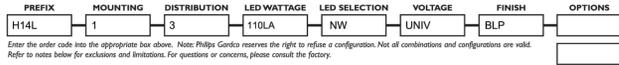
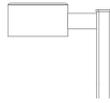


Table with columns: PREFIX, MOUNTING, DISTRIBUTION. Includes sub-tables for 'Available in 70LA and 85LA LED Wattages Only' and 'Available in 110LA and 160LA LED Wattages Only'.

Table: LED WATTAGE AND LUMEN VALUES. Columns: Ordering Code, Average System Watts, LED Current (mA), LED Selection, Luminaire Initial Absolute Lumens, Bank of Lumens Data.

Table: LED SELECTION. Columns: Code (CW, NW, WW), Description (Cool White, Neutral White, Warm White), Temperature (5700K, 4000K, 3000K), CRI (75, 70, 80).

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Page 2 of 3

## Form 10 Square LED

EH / H / Arm Mount

Table: FINISH and OPTIONS. Lists various finishes (EH Style, BRA, BLA, NA, OC, SC) and options (F, LF, PC, PCR, MF, MU, AP, PTF, PTF2, PTF3, PTF4, SPR, SPRH).

### DIMENSIONS AND EPA

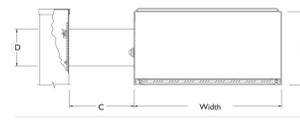


Table: Dimensions and EPA. Columns: Size, Width, B, C, D. Rows: EH14, H14, H19, H19L.

Table: EPA. Columns: Size, Effective Projected Area (EPA), Approximate Weight. Rows: EH14, H14, H19.

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Page 3 of 3

## Form 10 Square LED

EH / H / Arm Mount

Table: LUMINAIRE CONFIGURATION INFORMATION. Includes sections for CONSTANT WATTAGE CONFIGURATIONS, DIMMING "DIM" CONFIGURATIONS, SPECIFICATIONS, HOUSING, LENS, THERMAL MANAGEMENT, and LED RELIABILITY.

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Job:  
Type:  
Notes:

## Poles

Page 1 of 4

5" Straight Square Aluminum - Cast Base

The Philips Gardco SSAS straight aluminum pole consists of a one-piece 5" square extruded aluminum lighting standard mounted to a cast aluminum base. The poles are finished with either Architectural Class 1 anodizing or electrostatically applied TGIC polyester powdercoat. All poles include anchor bolts, nut cover disks, hand hole, ground lug and top cap.

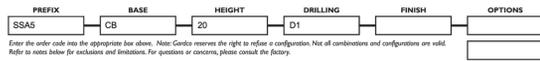


Table: PREFIX, BASE, HEIGHT, DRILLING. Includes sub-table for 'Hinged Bases are available for this pole'.

Table: FINISH and OPTIONS. Lists various finishes (BRP, BLP, WP, NP, NA, BRA, BLA, OC, SC) and options (DR, GFCI, VDA, NDA, Insoles and Couplings, GMR, MSM).

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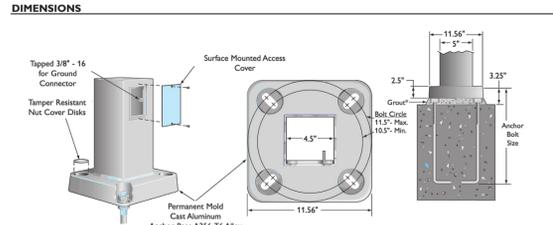


Page 2 of 4

5" Straight Square Aluminum - Cast Base

Table: POLE DATA. Columns: CATALOG NUMBER, POLE SIZE, MAXIMUM LUMINAIRE LOADING, ANCHOR BOLT DATA.

- 1. Warning: Additional wind loading in terms of EPA, from banners, cameras, floodlights and other accessories attached to the pole, must be added to the luminaire(s) EPA before selecting the pole with the appropriate wind load capability.



NOTE: Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement from failure to use factory supplied templates.

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Page 3 of 4

5" Straight Square Aluminum - Cast Base

Table: SPECIFICATIONS. Includes sections for ANCHOR BOLTS, POLE SHAFT, ANCHOR BASE, HAND HOLE, POLE TOP CAP, and FINISH.

Table: GENERAL POLE INFORMATION. Includes sections for DESIGN, CHARTED WEIGHTS, WIND VELOCITIES, POLES ARE DESIGNED FOR GROUND MOUNTED APPLICATIONS, and WARRANTY.

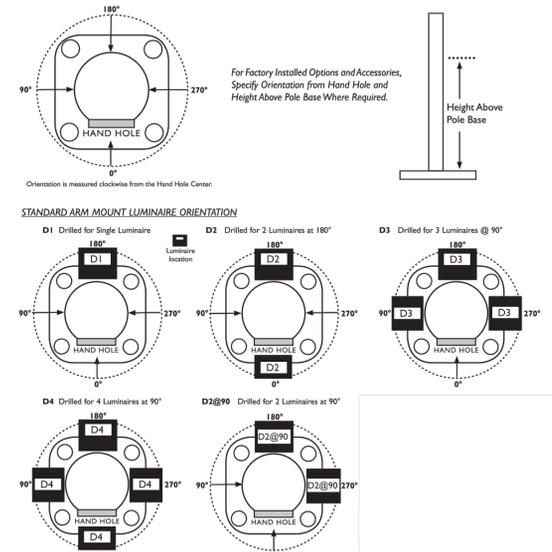
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Page 4 of 4

5" Straight Square Aluminum - Cast Base

Table: ORIENTATION INFORMATION. Includes sections for FACTORY INSTALLED OPTIONS AND ACCESSORIES, STANDARD ARM MOUNT LUMINAIRE ORIENTATION, and HAND HOLE.



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Table: Project Information. Columns: No., Revision, Date, Appvd.

1 REVISED TOWN SUBMISSION 3/3/2015 MWJ

The Residences at Corporate Park Drive  
Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

Site Plan Review

Not Approved for Construction

Lighting Details 2

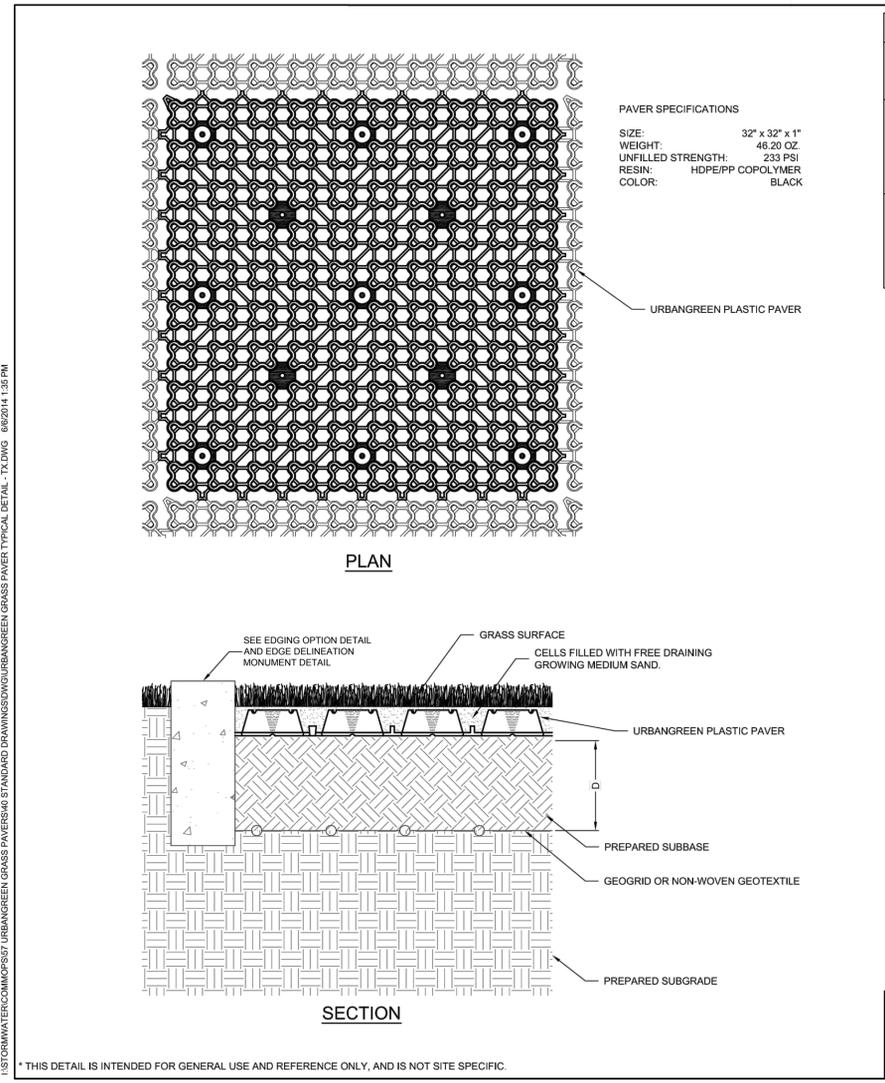
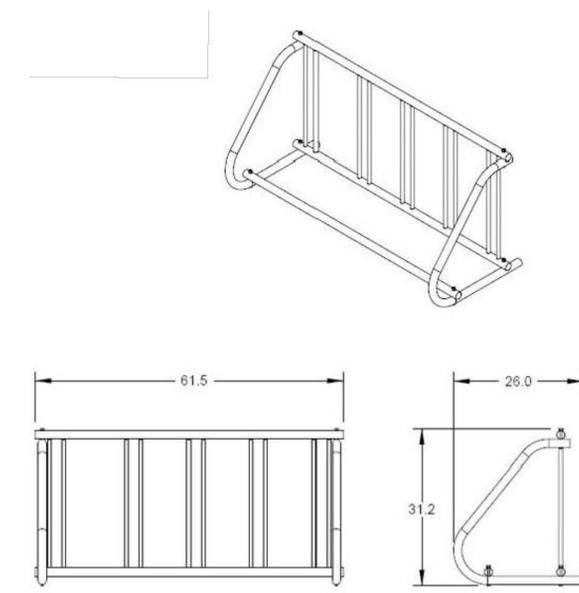
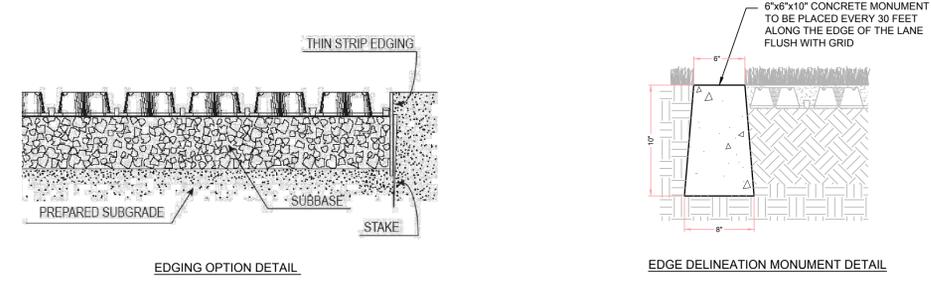
Professional Engineer seal for Michael W. Jughans, NY Lic. No. 072072. Includes drawing number C-12 and sheet number 13 of 22.





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**TABLE 1: TYPICAL SUB-BASE (D) THICKNESS REQUIREMENTS W/ GEOGRID**

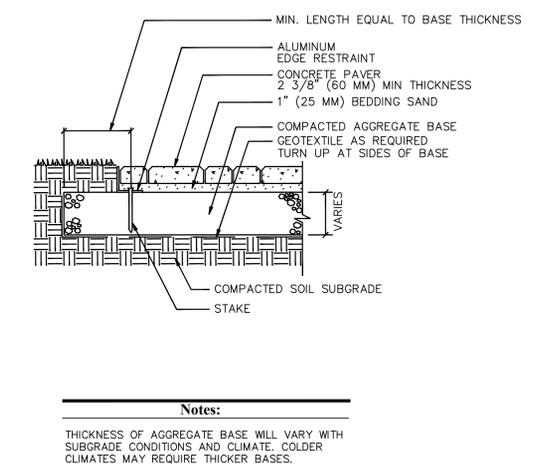
APPLICATION/LOAD	* CBR STRENGTH OF SUBGRADE SOIL	(D) SUB-BASE THICKNESS (IN.) (SEE NOTE 3)	GEOGRID (SEE NOTE 1)
FIRE TRUCK AND OCCASIONAL HEAVY VEHICLE ACCESS	>6	5	TX5
	4-6	7	TX5
	2-4	11/12	TX7
LIGHT VEHICLE ACCESS AND SPILLOVER CAR PARKING	1-2	19/21	TX7
	>6	5	TX5
	4-6	6	TX5
	2-4	9/10	TX7
	1-2	14/16	TX7

\* CBR = CALIFORNIA BEARING RATIO

- GENERAL NOTES**
- IF CONTECH GEOGRID IS OMITTED, THEN THE TOTAL SUB-BASE LAYER THICKNESS MUST BE INCREASED BY 50%. IF SUBGRADE SOILS ARE IMPERMEABLE AND NO GEOGRID IS USED, A NON-WOVEN GEOTEXTILE W/ RECYCLED CONTENT IS RECOMMENDED AND SHOULD HAVE GOOD PERMEABILITY AND POROSITY (50-70 PORES PER SQUARE INCH).
  - IF AN UNDERDRAIN IS REQUIRED USE 4-INCH DIAMETER PERFORATED PIPE LAID AT MINIMUM GRADIENT 1:100, BEDDED ON GRAVEL IN TRENCH BACKFILLED WITH 'DOT TYPE A' DRAINAGE STONE, COVERED WITH A WOVEN GEOTEXTILE FABRIC AND LEADING TO A SUITABLE OUTFALL OR BIORETENTION AREA. DRAINS PLACED DOWN CENTER OR ONE EDGE OF ACCESS ROUTES UP TO 16.5 FT. WIDE. WIDER AREAS MAY REQUIRE ADDITIONAL DRAINS AT 16.5 FT. - 33 FT. CENTERS. DRAINAGE DESIGN BY SPECIFIER BASED ON SPECIFIC GROUND CONDITIONS ON SITE.
  - SUBBASE SHOULD BE A SANDY GRAVEL MATERIAL FROM LOCAL SOURCES COMMONLY USED IN THE PREPARATION OF A ROAD BASE AND WALKWAYS. SUBBASE GRAVEL AGGREGATE TO BE 3/4 INCH MINUS CRUSHED ROCK WITH NO MORE THAN 3% PASSING THE #200 SIEVE. MATERIAL SHOULD BE NEARLY NEUTRAL IN PH.
  - URBANGREEN PAVER, GEOGRID AND GEOTEXTILES BY CONTECH ENGINEERED SOLUTIONS: 800-925-5240
- INSTALLATION NOTES**
- THE CONTRACTOR SHALL COMMENCE THE WORK AFTER ENTIRE SUBGRADE HAS BEEN FINE GRADED AND COMPACTED TO SPECIFIED TOLERANCE.
  - INSTALL SUBBASE COURSE MATERIAL OVER PREPARED SUBGRADE TO ELEVATIONS AND DEPTHS SHOWN ON PLAN. INSTALL MATERIAL IN LIFTS THAT DO NOT EXCEED 4 INCHES, COMPACTING EACH LIFT TO 85% MODIFIED PROCTOR DENSITY.
  - USE CONNECTORS PROVIDED TO MAINTAIN PROPER SPACING AND TO INTERLOCK THE PAVERS.
  - PAVER PANELS TO BE INSTALLED WITH THE LARGER CLOVER OPENING FACING DOWN. PAVER MATERIAL SHOULD BE COVERED IF EXPOSED TO SUN AND OUTSIDE ELEMENTS FOR MORE THAN 30 DAYS.
  - PAVERS CAN BE CUT USING A HAND OR POWER SAW TO FIT AROUND OBSTRUCTIONS AND CONTOURS. PIECES WHICH ARE LESS THAN HALF THE ORIGINAL SIZE SHOULD NOT BE USED.
  - FILL PAVERS WITH THE SPECIFIED SAND. FILL MATERIAL SHALL BE INSTALLED TO THE TOP OF THE PAVER AND NO HIGHER THAN 1/4-INCH ABOVE THE TOP OF THE PAVER. ONCE THE FILL MATERIAL IS INSTALLED USE A LIGHT VIBRATING PLATE TO CONSOLIDATE THE PAVERS AND TO SETTLE THE ROOTZONE INFILL.
  - CARRY OUT SOIL PLACEMENT OR SEEDING, FERTILIZING AND WATERING PROGRAM. A VERY LIGHT TOP DRESSING MAY BE APPLIED TO JUST COVER THE SEED AND TO PROVIDE ADEQUATE GERMINATION CONDITIONS.
  - IT IS PREFERABLE TO ALLOW THE GRASS TO FULLY ESTABLISH PRIOR TO VEHICLE TRAFFIC.

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.ContechES.com  
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
800-338-1122 513-645-7000 513-645-7993 FAX

**URBANGREEN PLASTIC PAVERS  
GRASS INSTALLATION  
STANDARD DETAIL**



No.	Revision	Date	Apprv.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

Designed by AM/JC Drawn by AM/JC Checked by JC  
CAD checked by Approved by MWJ  
Scale as noted Date December 02, 2014

**The Residences at  
Corporate Park Drive**  
Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

Site Plan Review

Not Approved for Construction  
Drawing Title

Site Details 2

Project Title  
Drawing Number  
Sheet 15 of 22  
Project Number 29254.00  
Michael W. Judd  
N.Y. Professional Engineer  
NY Lic. No. 072072

**C-14**

29254.00\_01.DWG

**Emergency Access Lane - Grass Pavers with Thin Strip Edging**  
N.T.S. Source: VHB

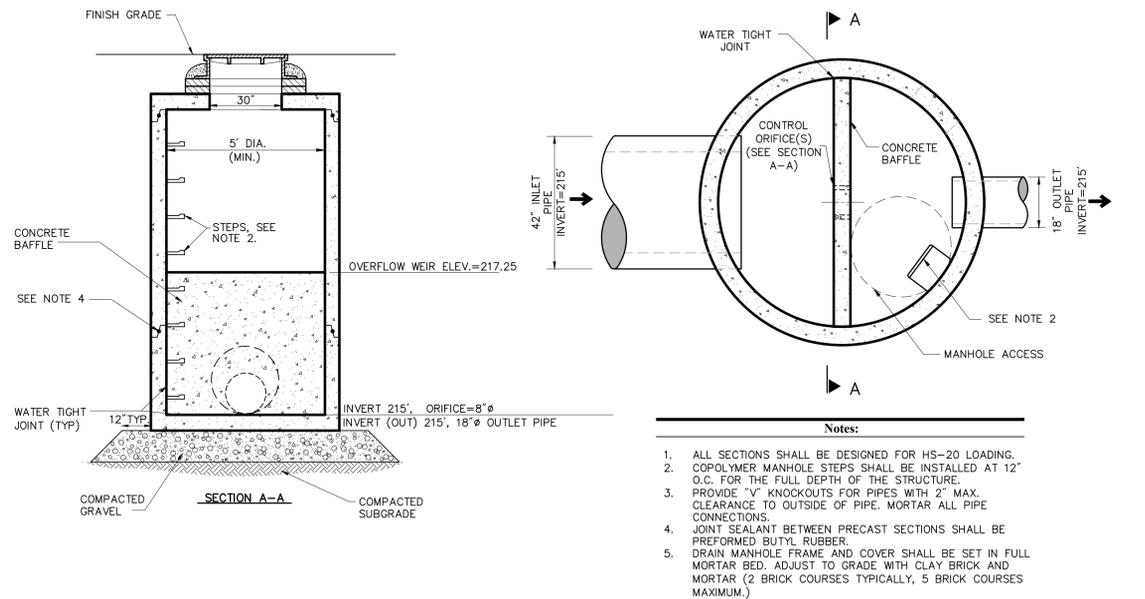
**Concrete Paver Patio with Aluminum Edge**  
N.T.S. Source: Pavestone Company





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- Notes:**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM.)

**Outlet Structure (OS-50)**

N.T.S.

Source: VHB

7/06

LD\_

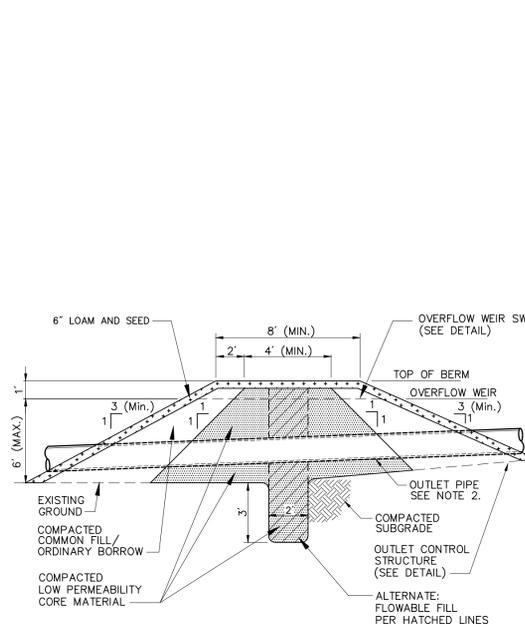
**Outlet Structure (OS-12)**

N.T.S.

Source: VHB

5/14

LD\_



- Notes:**
1. LOW PERMEABILITY CORE MATERIAL IS CONTINUOUS FOR THE FULL LENGTH OF THE EMBANKMENT.
  2. WHERE PIPES PENETRATE THE LOW PERMEABILITY CORE, PIPE SHALL BE BEDDED IN THE LOW PERMEABILITY CORE MATERIAL.
  3. THE BERM SECTION IS SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

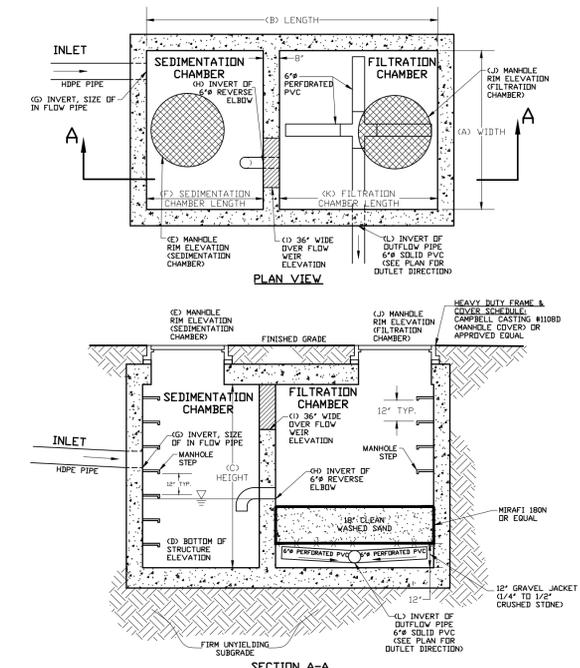
**Basin Berm Section**

N.T.S.

Source: VHB

10/08

LD\_160



**SUMMARY TABLE: UNDERGROUND SAND FILTER DIMENSION AND ELEVATION**

Width	Length	Height	SEDIMENTATION CHAMBER			FILTRATION CHAMBER			
			#	Elev #	Length	#	Elev #	Length	
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	
20	36	7.5	208.5	220.5	18	213.8	8	211.5	215

**NOTE:**  
1) ALL STRUCTURES INDICATED ARE TO BE DESIGNED AND CERTIFIED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF NEW YORK.  
2) ALL STRUCTURES TO BE HS-25 RATED.

**Underground Sand Filter**

N.T.S.

1	REVISED TOWN SUBMISSION	3/3/2015	MWJ
No.	Revision	Date	Apprv.
Designed by AM/JC Drawn by AM/JC Checked by JC			
CAD checked by Approved by MWJ			
Scale as noted		Date December 02, 2014	

**The Residences at  
Corporate Park Drive**  
Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

Site Plan Review

Not Approved for Construction

Site Details 4

Drawing Number  
**C-16**  
Sheet 17 of 22  
Project Number  
29254.00  
Project Number  
29254.00

Michael W. Jughans  
N.Y. Professional Engineer  
NY Lic. No. 072072

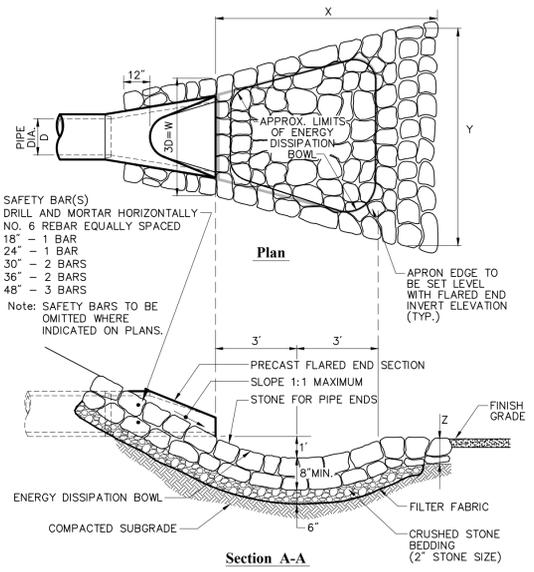


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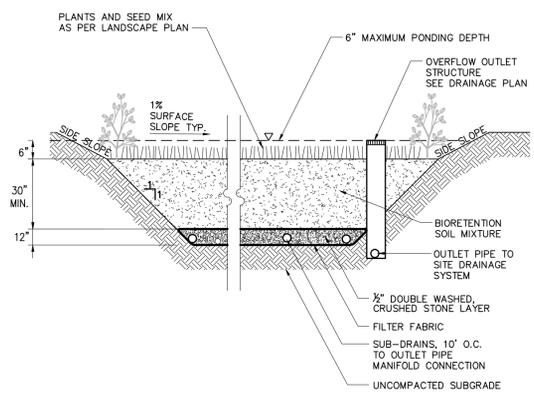
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White Plains, NY 10606  
914.467.6600 • FAX 914.761.3759

**Riprap Sizing**

FES NO.	W	X	Y	Z	STONE DIA. (D <sub>50</sub> )
51A	4.5"	9"	10.5"	14"	6"

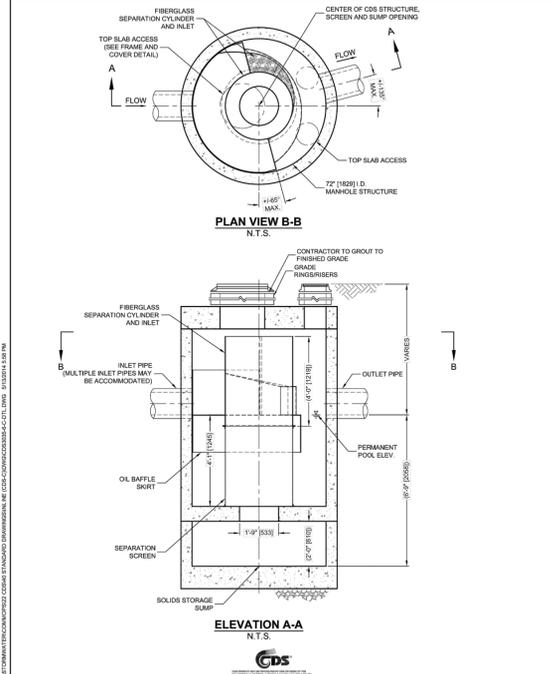


**Flared End Section (FES) with Riprap**  
N.T.S. Source: VHB LD\_134



- Notes:**
- SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.
  - SEE GRADING AND DRAINAGE PLAN AND DETAIL SHEETS FOR LOCATIONS AND INVERTS OF OVERFLOW OUTLETS AND SUBDRAIN CONNECTIONS.

**Bioretention Basin**  
N.T.S. Source: VHB REV LD\_



**CDS3035-6-C DESIGN NOTES**

CDS3035-6-C RATED TREATMENT CAPACITY IS 3.0 CFS (107.8 LAL) OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 20.0 CFS (714.2 LAL). IF THE SITE CONDITIONS EXCEED 30.0 CFS (1070 LAL), AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS3035-6-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT VEIL FOR INLET/OUTLET CONFORMING UNITS

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (H) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE - WWW.CONTECH.COM
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AUSTRIAN HERRING CASTINGS SHALL MEET HERRING IN 200 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- IF HYDRAULIC BREAK RATE IS PLACED ON SELF AT BOTTOM OF SCREEN CYLINDER, REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

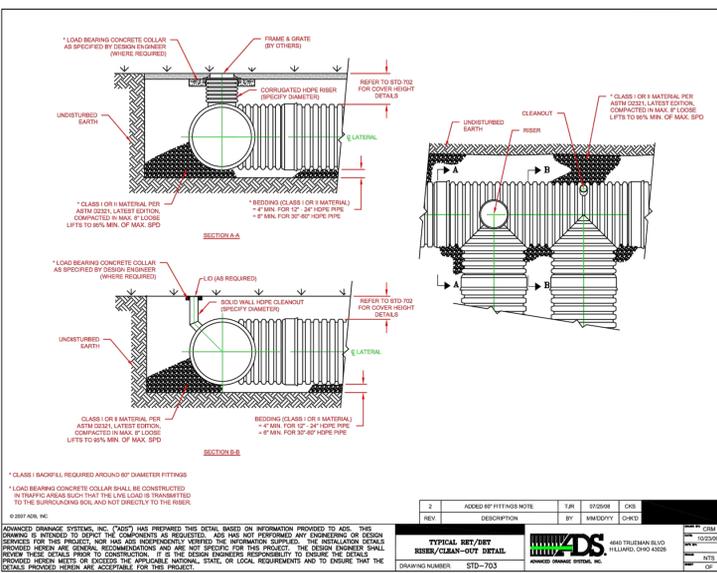
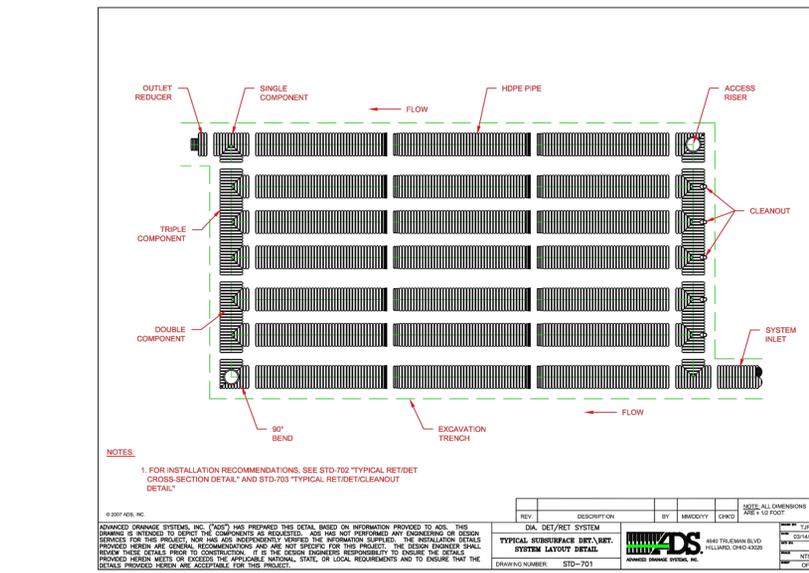
**INSTALLATION NOTES**

- ANY SURFACE BACKFILL DEPTH, AND/OR ANTI-FLOUTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE. LIFTING CLUTCHES PROVIDED.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ACHIEVE UNIFORM WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH ENGINEERED SOLUTIONS LLC**  
www.contech.com  
8005 Chappaqua Drive, Suite 400, West Chappaqua, NY 10998  
914.351.1111 FAX 914.351.1100

**CDS3035-6-C  
INLINE CDS  
STANDARD DETAIL**

**CDS Unit (Treatment Device)**  
N.T.S. Source: Contech Solrtwater Solutions LD\_



**NOTES:**

- ALL REFERENCES TO CLASS (I) OR (II) MATERIAL ARE PER ASTM D3231 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D3231, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED, SEE ASTM D3231.
- FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL, AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEHIND: SUITABLE MATERIAL SHALL BE CLASS (I) OR (II). THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 24" (600mm-900mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS (I) OR (II) IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D3231, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOUTATION, FOR TRAFFIC APPLICATIONS. MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" COVER FOR 48" - 60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

NOMINAL DIAMETER	NOMINAL SPACING "C"	TYPICAL SPACING "C"	TYPICAL SPACING "C"	TYPICAL SIDE WALL "X"	H (TRAFFIC)
12" (305 MM)	14.5" (368 MM)	11" (279 MM)	25.4" (645 MM)	8" (203 MM)	12" (292 MM)
15" (375 MM)	19" (483 MM)	12" (305 MM)	28.9" (734 MM)	8" (203 MM)	12" (292 MM)
18" (450 MM)	21" (533 MM)	17" (430 MM)	33.9" (862 MM)	9" (229 MM)	12" (292 MM)
24" (600 MM)	26" (660 MM)	15" (381 MM)	40.7" (1036 MM)	10" (254 MM)	12" (292 MM)
30" (750 MM)	31" (787 MM)	18" (457 MM)	53.1" (1347 MM)	10" (254 MM)	12" (292 MM)
36" (900 MM)	37" (939 MM)	22" (559 MM)	63" (1600 MM)	10" (254 MM)	12" (292 MM)
42" (1050 MM)	43" (1092 MM)	24" (610 MM)	71.9" (1826 MM)	10" (254 MM)	12" (292 MM)
48" (1200 MM)	49" (1240 MM)	26" (660 MM)	78.7" (2000 MM)	10" (254 MM)	12" (292 MM)
60" (1500 MM)	67" (1702 MM)	34" (863 MM)	90" (2286 MM)	10" (254 MM)	12" (292 MM)

\* CLASS (I) BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.

**Underground Detention System**  
N.T.S. Source: ADS-PIPE

**Underground Detention System**  
N.T.S. Source: ADS-PIPE

**Underground Detention System**  
N.T.S. Source: ADS-PIPE

No.	Revision	Date	Appv.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

Designed by AM/JC Drawn by AM/JC Checked by JC  
CAD checked by Approved by MWJ  
Scale as noted Date December 02, 2014  
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Not Approved for Construction  
Drawing Title

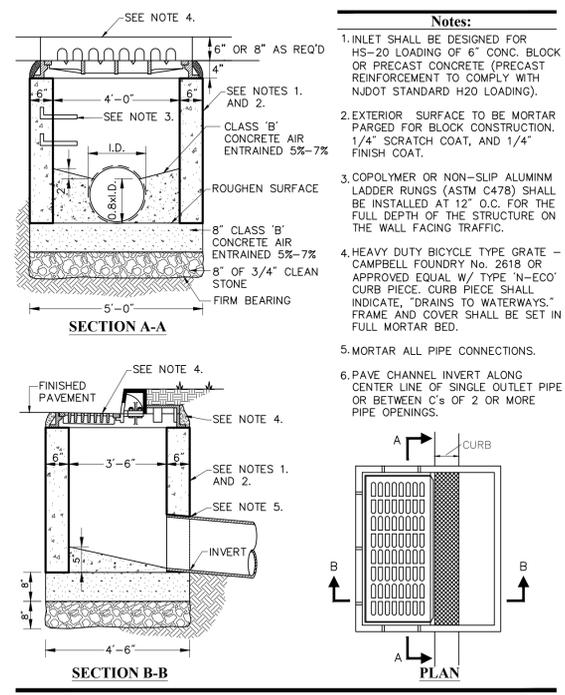
Site Details 5

Drawing Number  
**C-17**  
Sheet 18 of 22  
Project Number 29254.00  
Michael W. Jughans  
N.Y. Professional Engineer  
NY Lic. No. 072072  
29254.00\_01.DWG

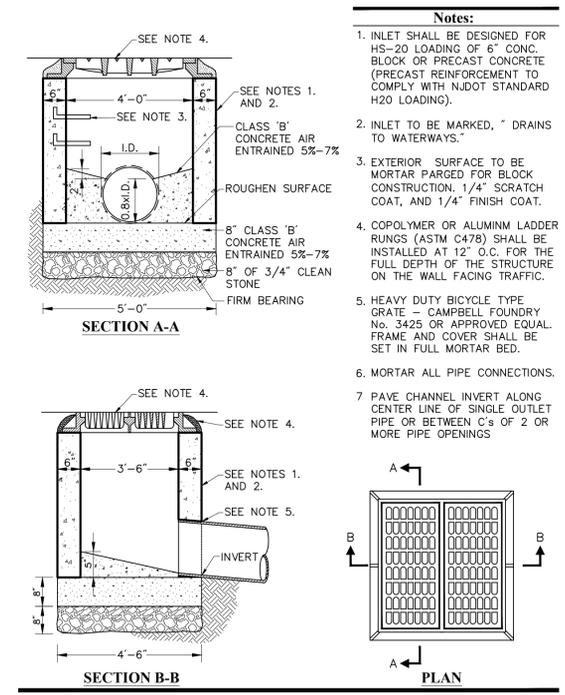


**Engineering, Surveying & Landscape Architecture, P.C.**

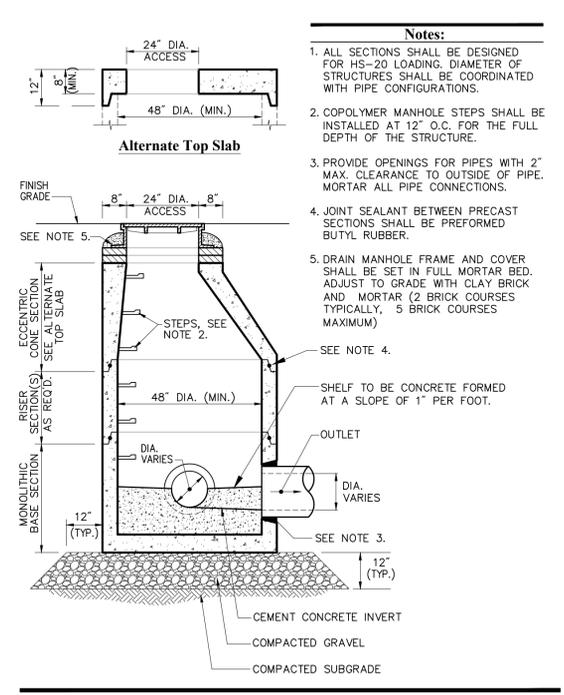
Planning  
Transportation  
Land Development  
Environmental Services  
50 Main Street - Suite 360  
White Plains, NY 10606  
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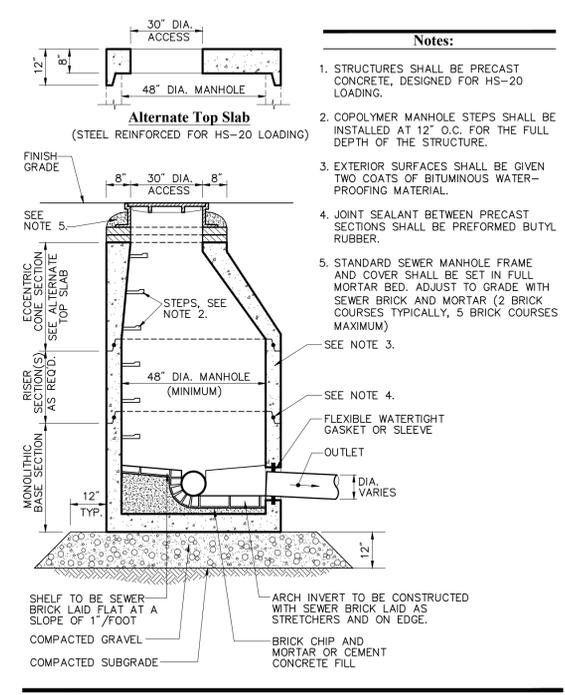
**Curb Inlet (CI)** 2/12  
N.T.S. Source: VHB ED



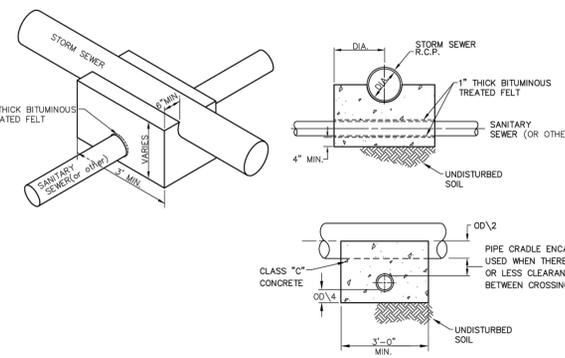
**Field Inlet (FI)** 2/12  
N.T.S. Source: VHB ED



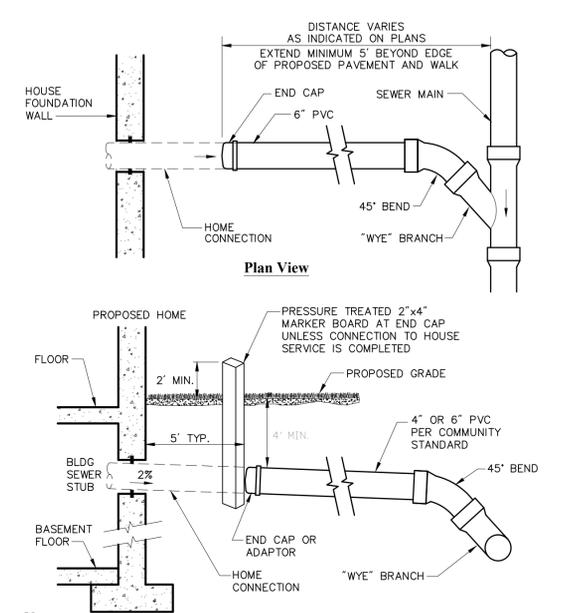
**Drain Manhole (DMH)** 4/11  
N.T.S. Source: VHB LD\_115



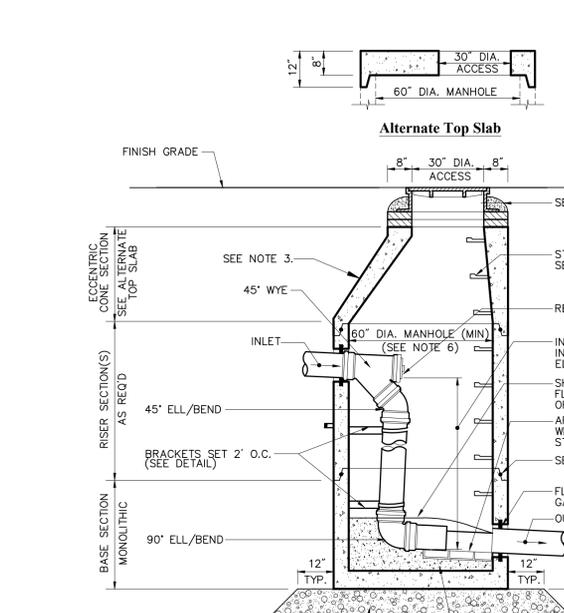
**Sanitary Sewer Manhole (SMH)** 6/08  
N.T.S. Source: VHB LD\_200



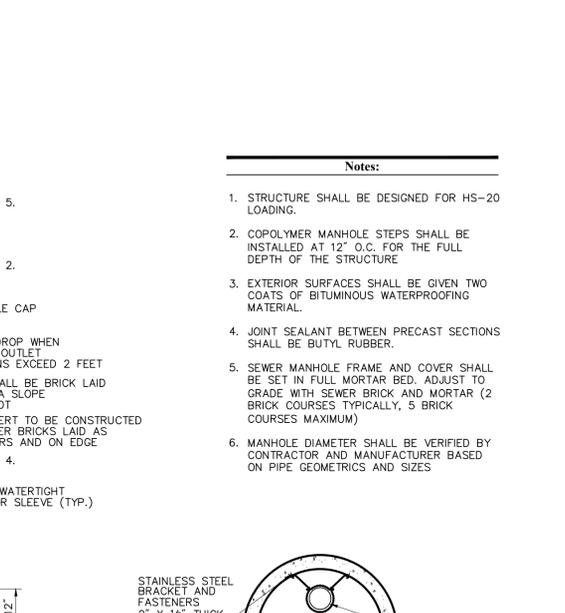
**Concrete Cradle Encasement** 9/06  
N.T.S. Source: VHB



**Typical Wye Connection Detail (Residential)** 6/08  
N.T.S. Source: VHB LD\_223



**Interior Drop Sewer Manhole (SMH)** 6/08  
N.T.S. Source: VHB



**Bracket Detail** 6/08  
N.T.S. Source: VHB


1	REVISED TOWN SUBMISSION	3/3/2015	MWJ
No.	Revision	Date	Appv.

Designed by AM/JC Drawn by AM/JC Checked by JC  
CAD checked by Approved by MWJ  
Scale as noted Date December 02, 2014  
Project Title

**The Residences at Corporate Park Drive**

Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY

**Site Plan Review**

Not Approved for Construction  
Drawing Title

**Site Details 6**

Drawing Number

**C-18**

Sheet 19 of 22

Project Number 29254.00

Michael W. Jughans  
N.Y. Professional Engineer  
NY Lic. No. 072072

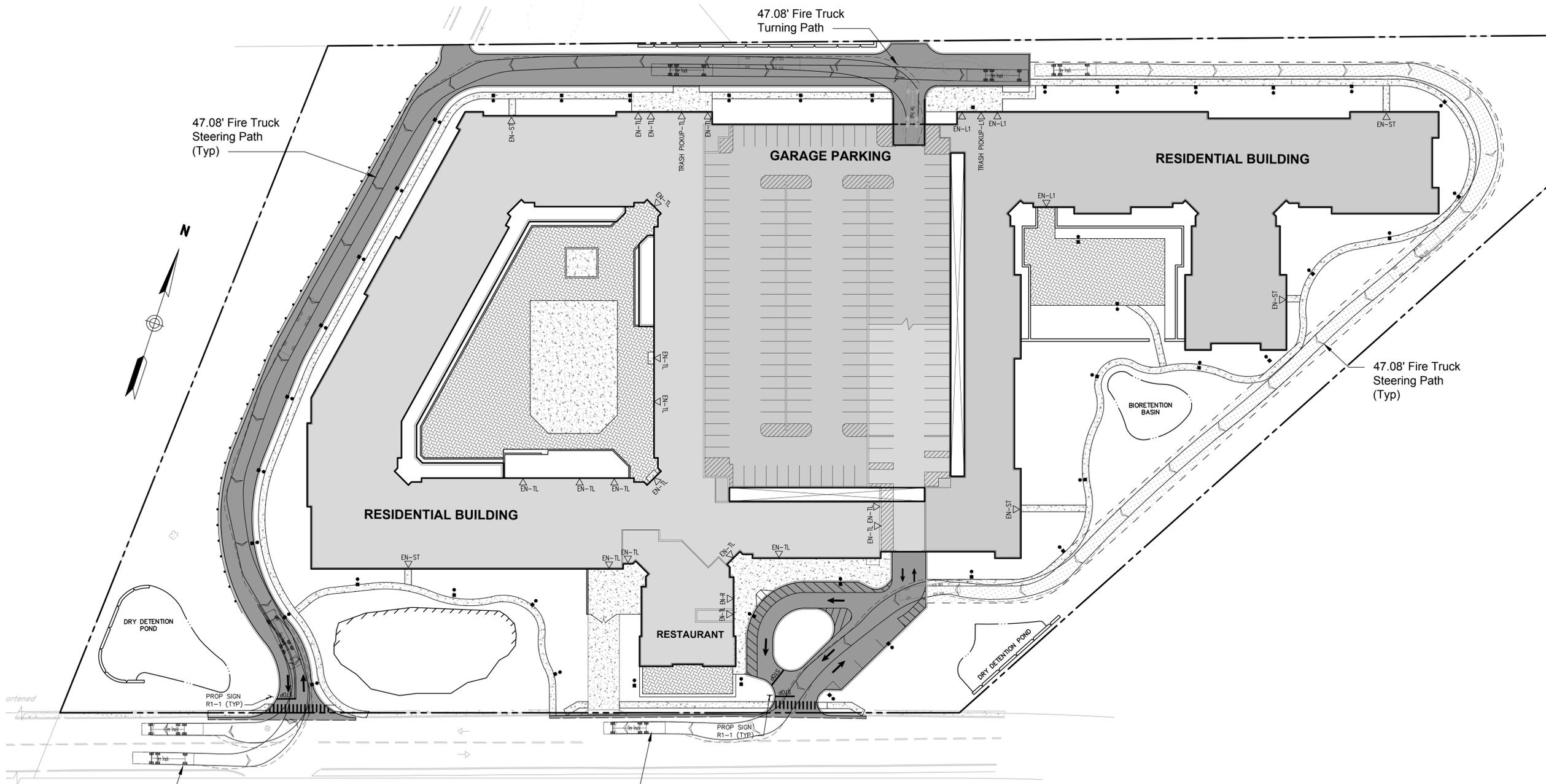
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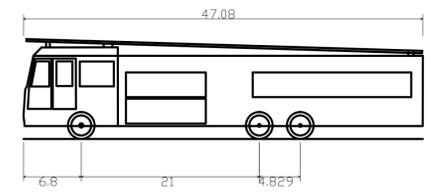


No.	Revision	Date	Appvd.
1	REVISED TOWN SUBMISSION	3/3/2015	MMJ

Designed by: \_\_\_\_\_ Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 CAD checked by: \_\_\_\_\_ Approved by: \_\_\_\_\_  
 Scale: 1"=40' Date: December 02, 2014

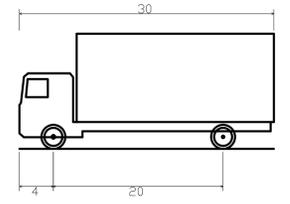
**The Residences at  
Corporate Park Drive**  
 Tax Block 0621, Lot 3  
 103-105 Corporate Park Drive  
 Harrison, Westchester County, NY

Issued for:  
**Site Plan Review**  
 Not Approved for Construction  
 Drawing Title:  
**Vehicle Maneuvering  
Plan**



**47.08' Fire Truck Template**

Fire Truck Overall Length	47.080ft
Overall Width	9.000ft
Overall Body Height	11.729ft
Min Body Ground Clearance	1.510ft
Track width	9.000ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	34.40°

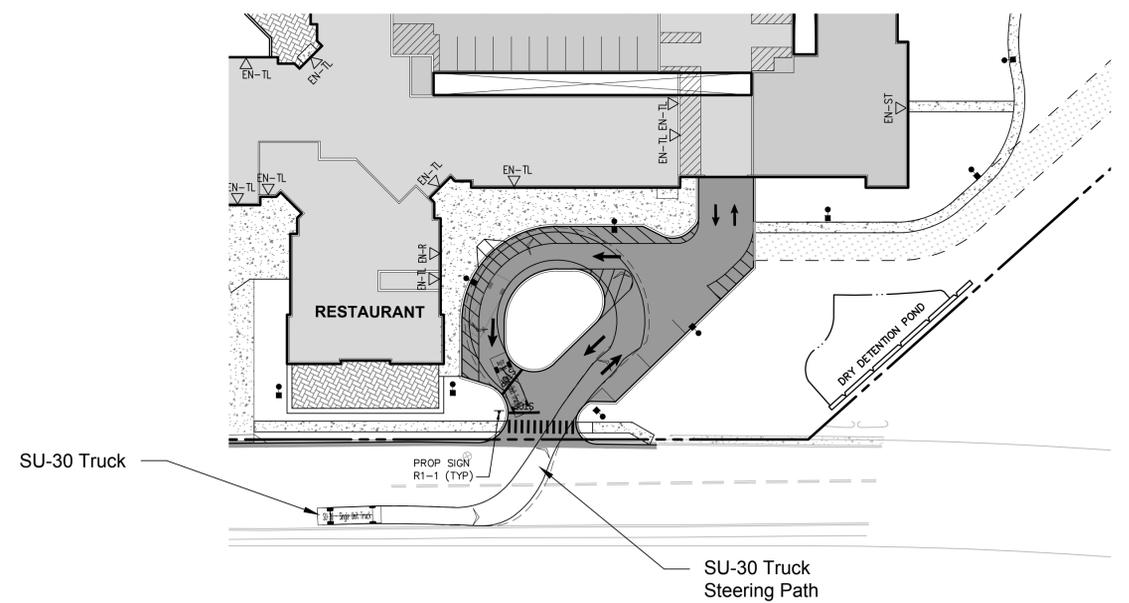


**SU-30 - Single Unit Truck**

Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°

**47.08' Fire Truck Template**

**SU-30 Truck Template**



Drawing Number: **C-20**  
 Sheet of 21 22  
 Project Number: 29254.00  
 Michael W. Jungmans  
 N.Y. Professional Engineer  
 NY Lic. No. 072072

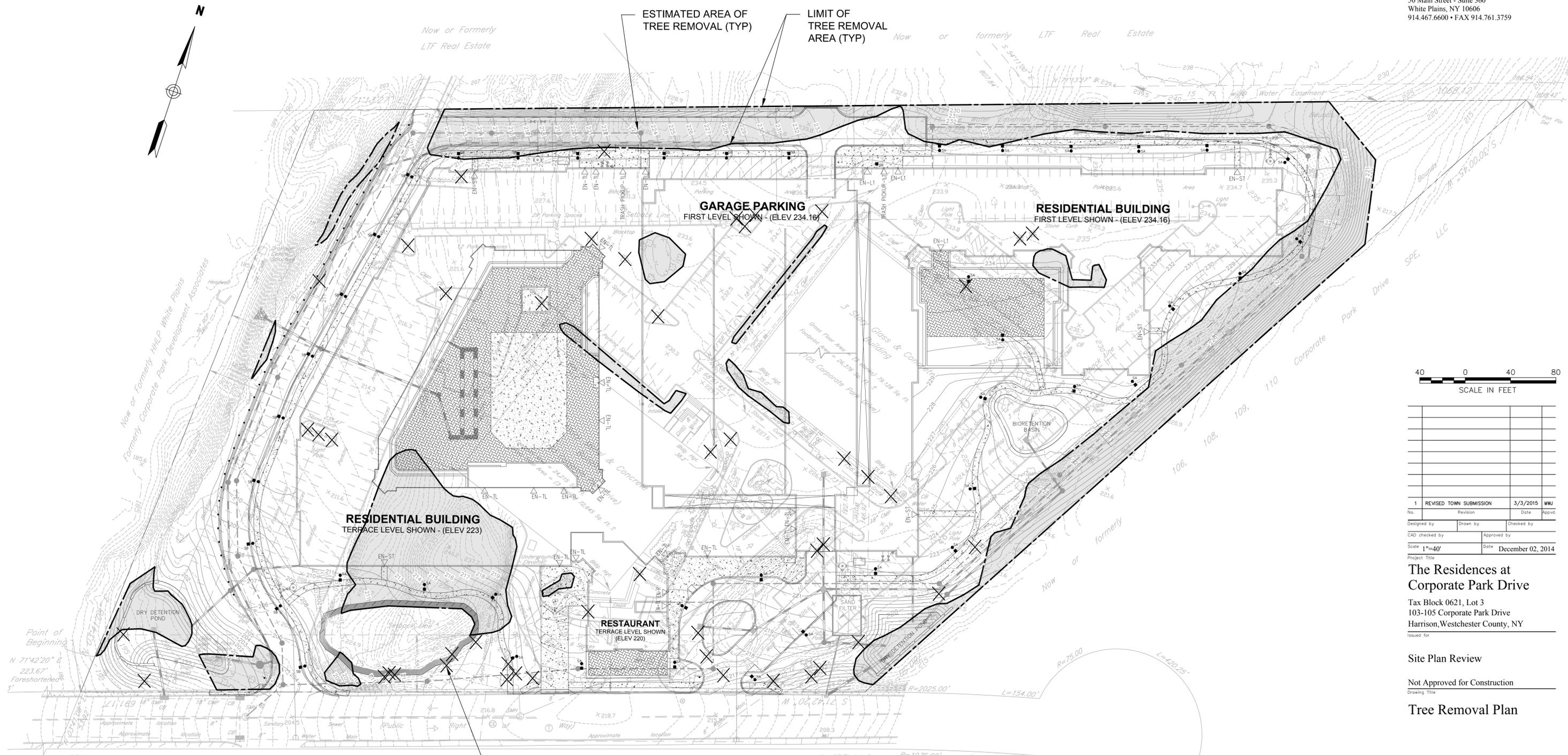
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**Note:**

LOCATION AND SIZE OF TREES TO BE REMOVED TO BE PROVIDED IN SUBSEQUENT SUBMISSION.



No.	Revision	Date	Appvd.
1	REVISED TOWN SUBMISSION	3/3/2015	MWJ

Designed by: \_\_\_\_\_ Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
CAD checked by: \_\_\_\_\_ Approved by: \_\_\_\_\_  
Scale: 1"=40' Date: December 02, 2014  
Project Title: \_\_\_\_\_

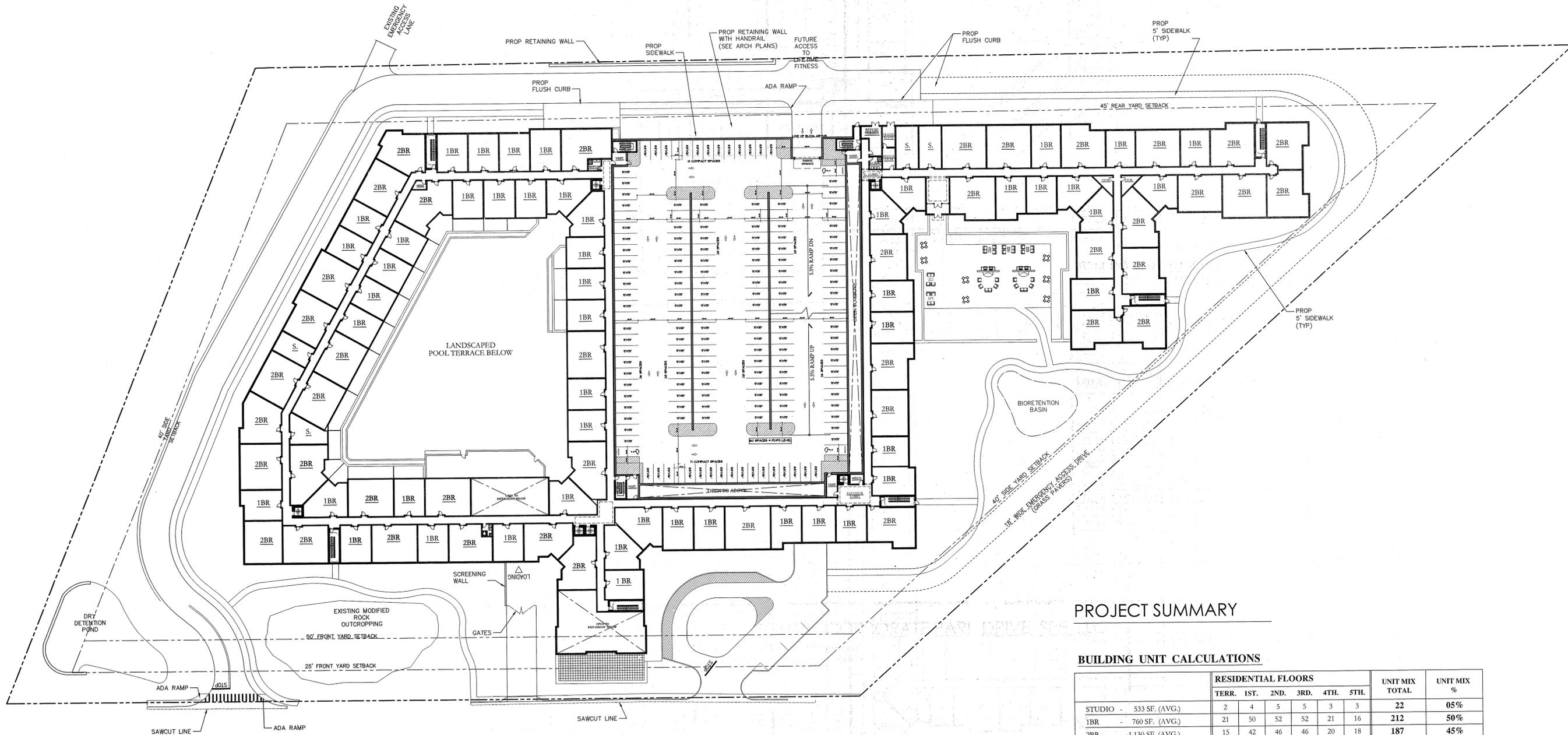
**The Residences at  
Corporate Park Drive**  
Tax Block 0621, Lot 3  
103-105 Corporate Park Drive  
Harrison, Westchester County, NY  
Issued for: \_\_\_\_\_

Site Plan Review  
Not Approved for Construction  
Drawing Title  
**Tree Removal Plan**

Drawing Number  
**C-21**  
Sheet of 22 22  
Project Number  
29254.00  
Michael W. Jungmans  
N.Y. Professional Engineer  
NY Lic. No. 072072  
29254.00\_TR.DWG







FIRST LEVEL FLOOR PLAN - P2

SCALE: 1" = 30'

PROJECT SUMMARY

BUILDING UNIT CALCULATIONS

	RESIDENTIAL FLOORS						UNIT MIX TOTAL	UNIT MIX %
	TERR.	1ST.	2ND.	3RD.	4TH.	5TH.		
STUDIO - 533 SF. (AVG.)	2	4	5	5	3	3	22	05%
1BR - 760 SF. (AVG.)	21	50	52	52	21	16	212	50%
2BR - 1,130 SF. (AVG.)	15	42	46	46	20	18	187	45%
TOTAL	38	96	103	103	44	37	421 D.U.	100%

TOTAL PROJECT - PARKING SUMMARY

	PARKING TOTALS		TOTAL PARKING SPACES
	RESIDENTIAL SPACES	RESTAURANT SPACES	
P1 - TERRACE LEVEL PARKING	9	36	45 P.S.
P2 - FIRST LEVEL PARKING	162	-	162 P.S.
P3 - SECOND LEVEL PARKING	162	-	162 P.S.
P4 - THIRD LEVEL PARKING	166	-	166 P.S.
P5 - FOURTH LEVEL PARKING	166	-	166 P.S.
P6 - FIFTH LEVEL PARKING	51	-	51 P.S.
TOTAL PARKING SPACES	716	36	752 P.S.
P.S. / D.U. RATIO	1.70 PS / D.U.		1.70 PS / D.U.

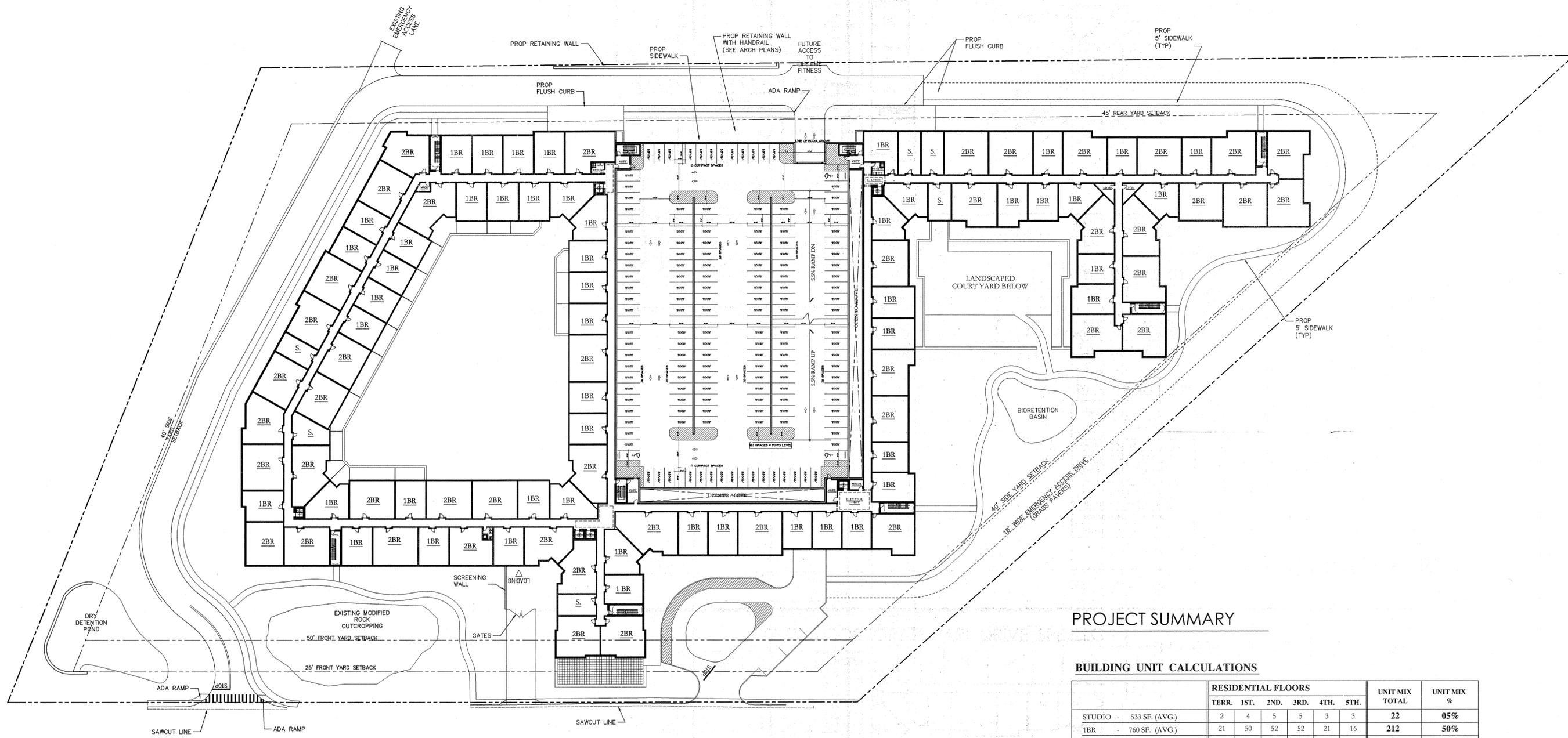


A02

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CONCEPT BUILDING PLAN

DATE: 12/02/2014



**SECOND LEVEL FLOOR PLAN - P3**

SCALE: 1" = 30'

**PROJECT SUMMARY**

**BUILDING UNIT CALCULATIONS**

	RESIDENTIAL FLOORS						UNIT MIX TOTAL	UNIT MIX %
	TERR.	1ST.	2ND.	3RD.	4TH.	5TH.		
STUDIO - 533 SF. (AVG.)	2	4	5	5	3	3	22	05%
1BR - 760 SF. (AVG.)	21	50	52	52	21	16	212	50%
2BR - 1,130 SF. (AVG.)	15	42	46	46	20	18	187	45%
<b>TOTAL</b>	<b>38</b>	<b>96</b>	<b>103</b>	<b>103</b>	<b>44</b>	<b>37</b>	<b>421 D.U.</b>	<b>100%</b>

**TOTAL PROJECT - PARKING SUMMARY**

	PARKING TOTALS		TOTAL PARKING SPACES
	RESIDENTIAL SPACES	RESTAURANT SPACES	
P1 - TERRACE LEVEL PARKING	9	36	45 P.S.
P2 - FIRST LEVEL PARKING	162	-	162 P.S.
P3 - SECOND LEVEL PARKING	162	-	162 P.S.
P4 - THIRD LEVEL PARKING	166	-	166 P.S.
P5 - FOURTH LEVEL PARKING	166	-	166 P.S.
P6 - FIFTH LEVEL PARKING	51	-	51 P.S.
<b>TOTAL PARKING SPACES</b>	<b>716</b>	<b>36</b>	<b>752 P.S.</b>
P.S. / D.U. RATIO	1.70 PS / D.U.		1.70 PS / D.U.

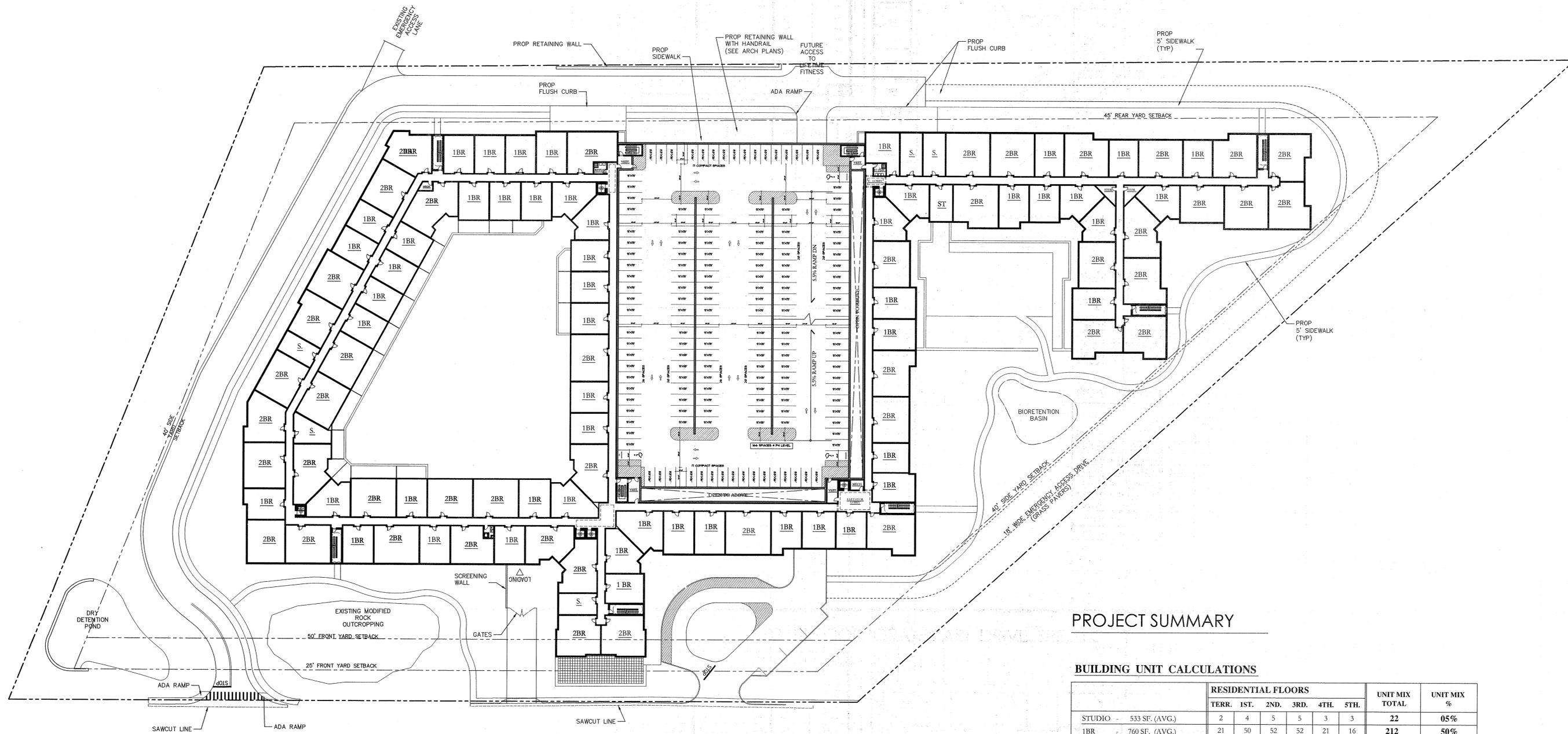


**A03**

REV 03/03/2015

**CONCEPT BUILDING PLAN**

DATE: 12/02/2014



THIRD LEVEL FLOOR PLAN - P4

SCALE: 1" = 30'

PROJECT SUMMARY

BUILDING UNIT CALCULATIONS

	RESIDENTIAL FLOORS						UNIT MIX TOTAL	UNIT MIX %
	TERR.	1ST.	2ND.	3RD.	4TH.	5TH.		
STUDIO - 533 SF. (AVG.)	2	4	5	5	3	3	22	05%
1BR - 760 SF. (AVG.)	21	50	52	52	21	16	212	50%
2BR - 1,130 SF. (AVG.)	15	42	46	46	20	18	187	45%
TOTAL	38	96	103	103	44	37	421 D.U.	100%

TOTAL PROJECT - PARKING SUMMARY

	PARKING TOTALS		TOTAL PARKING SPACES
	RESIDENTIAL SPACES	RESTAURANT SPACES	
P1 - TERRACE LEVEL PARKING	9	36	45 P.S.
P2 - FIRST LEVEL PARKING	162	-	162 P.S.
P3 - SECOND LEVEL PARKING	162	-	162 P.S.
P4 - THIRD LEVEL PARKING	166	-	166 P.S.
P5 - FOURTH LEVEL PARKING	166	-	166 P.S.
P6 - FIFTH LEVEL PARKING	51	-	51 P.S.
TOTAL PARKING SPACES	716	36	752 P.S.
P.S. / D.U. RATIO	1.70 PS / D.U.		1.70 PS / D.U.

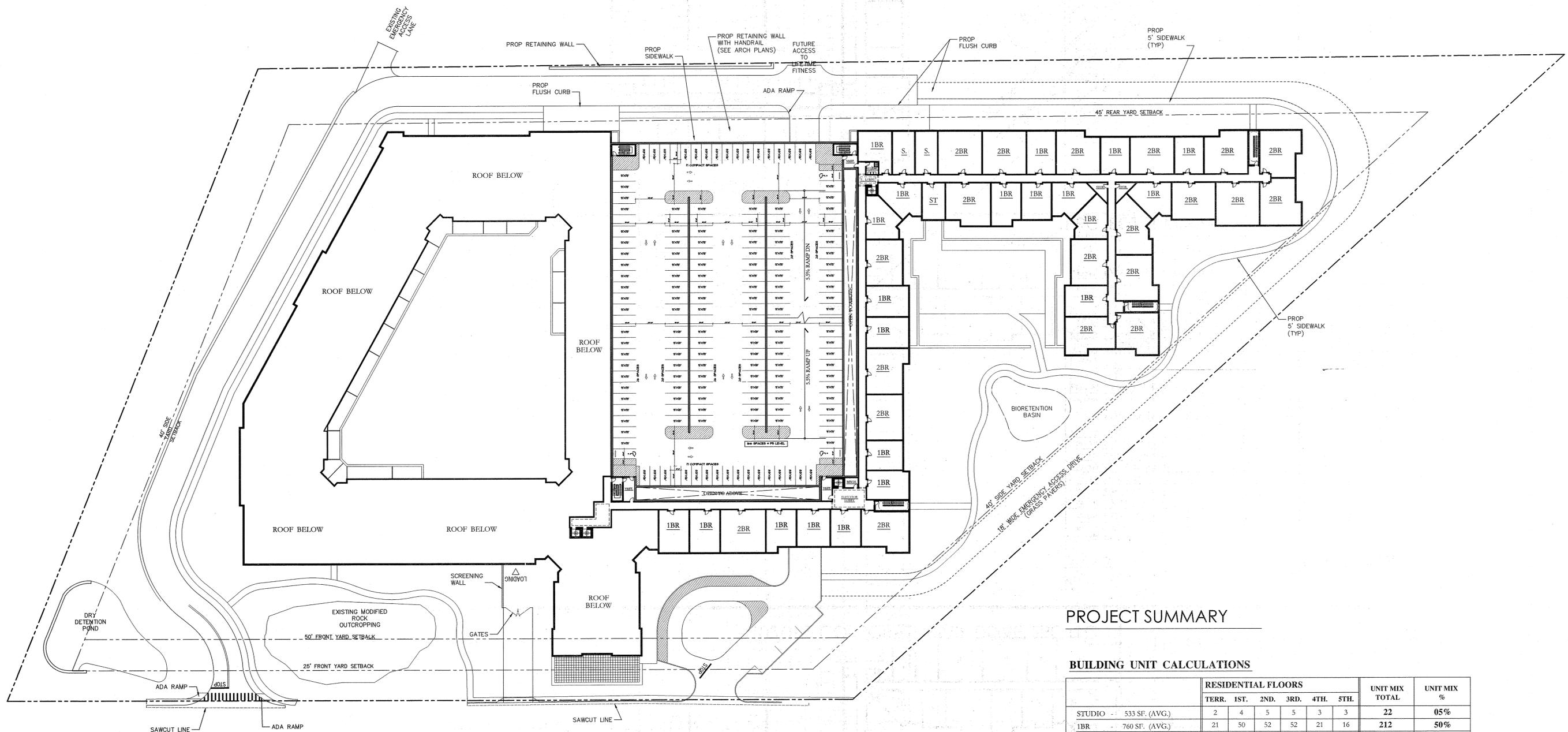


A04

REV 03/03/2015

CONCEPT BUILDING PLAN

DATE: 12/02/2014



FOURTH LEVEL FLOOR PLAN - P5  
SCALE: 1" = 30'

PROJECT SUMMARY

BUILDING UNIT CALCULATIONS

	RESIDENTIAL FLOORS	UNIT MIX TOTAL	UNIT MIX %					
				TERR.	1ST.	2ND.	3RD.	4TH.
STUDIO - 533 SF. (AVG.)	2	4	5	5	3	3	22	05%
1BR - 760 SF. (AVG.)	21	50	52	52	21	16	212	50%
2BR - 1,130 SF. (AVG.)	15	42	46	46	20	18	187	45%
TOTAL	38	96	103	103	44	37	421 D.U.	100%

TOTAL PROJECT - PARKING SUMMARY

	PARKING TOTALS		TOTAL PARKING SPACES
	RESIDENTIAL SPACES	RESTAURANT SPACES	
P1 - TERRACE LEVEL PARKING	9	36	45 P.S.
P2 - FIRST LEVEL PARKING	162	-	162 P.S.
P3 - SECOND LEVEL PARKING	162	-	162 P.S.
P4 - THIRD LEVEL PARKING	166	-	166 P.S.
P5 - FOURTH LEVEL PARKING	166	-	166 P.S.
P6 - FIFTH LEVEL PARKING	51	-	51 P.S.
TOTAL PARKING SPACES	716	36	752 P.S.
P.S. / D.U. RATIO	1.70 PS / D.U.		1.70 PS / D.U.



A05

REV 03/03/2015

CONCEPT BUILDING PLAN

DATE: 12/02/2014

